

DC-17-02998

Freeney Anita

CAUSE NO. \_\_\_\_\_

SUZANNE CALLAWAY-DAVIS

*Plaintiff*

V.

AMAZON.COM LLC, OLADAYA  
ANIPOLE, INPAX SHIPPING  
SOLUTIONS INC., AND INSS, LLC*Defendants*§  
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IN THE DISTRICT COURT

DALLAS COUNTY, TEXAS

F-116TH  
\_\_\_\_\_ JUDICIAL DISTRICT

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**PLAINTIFF SUZANNE CALLAWAY-DAVIS' ORIGINAL PETITION**

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**TO THE HONORABLE JUDGE OF SAID COURT:**

**COMES NOW**, Suzanne Callaway-Davis, (hereinafter referred to as "Plaintiff"), complaining of Amazon.com LLC, Mr. Oldaya Anipole, Inpax Shipping Solutions Inc., and INSS, LLC (hereinafter referred to as "Defendants") and for cause of action would respectfully show unto this Honorable Court and Jury as follows:

**DISCOVERY CONTROL PLAN**

1. Plaintiff intends for discovery to be conducted under Level 2 of Texas Rule of Civil Procedure 190.3 and affirmatively pleads that this suit is not governed by the expedited-actions process of Texas Rule of Civil Procedure 169 because Plaintiff seeks monetary relief of over \$100,000.00.

**PARTIES**

2. Plaintiff is an individual residing in Dallas County, Texas.

3. Amazon.com LLC is a foreign company engaging in the business of electronic commerce in the State of Texas. Defendant may be served with process by serving its registered agent of service, Corporation Service Company, located at the following address: 211 E. 7th Street, Suite 620, Austin, Texas 78701.
4. Inpax Shipping Solutions Inc. is a foreign transport company engaging in the business of shipping and transportation in the State of Texas. Defendant may be served with process at its principal office location: 2444 Forest Park Rd, Atlanta, Georgia 30315.
5. INSS, LLC is a foreign transport company engaging in the business of shipping and transportation in the State of Texas. Defendant may be served with process at its principal office location: 2444 Forest Park Rd Se, Atlanta, Georgia 30315.
6. Oldaya Anipole is a Texas resident and employee of INSS, LLC engaging in the business of shipping and transporting packages in the State of Texas. Defendant may be served with process by serving him at his place of residence: 425 Bernard Street, Denton, Texas 76207.

### **JURISDICTION**

7. The Court has jurisdiction over this cause of action because the amount in controversy is within the jurisdictional limits of the Court.
8. The Court has jurisdiction over Defendant Amazon.com LLC because it is a foreign company that engages in the business of electronic commerce in the State of Texas and Plaintiff's causes of action arise out of Defendant's business activities in the State of Texas. Specifically, Defendant Amazon.com LLC ships and transports items in Texas and has "purposefully availed" itself of the privilege of conducting activities in Texas. *Kelly v. General Interior Constr., Inc.*, 301 S.W.3d 653, 660-61 (Tex. 2010).

9. The Court has jurisdiction over Defendant Oldaya Anipole because he is a resident of Texas and an individual engaging in the business of transporting and shipping items in the State of Texas and Plaintiff's causes of action arise out of Defendant INSS, LLC's business activities in the State of Texas. Specifically, Defendant Anipole, an employee of Defendant INSS, LLC, drove the Amazon truck over Plaintiff's mailboxes and into her house, causing significant damage. Defendant Anipole has "purposefully availed" itself of the privilege of conducting activities in Texas. *Kelly v. General Interior Constr., Inc.*, 301 S.W.3d 653, 660-61 (Tex. 2010).
10. The Court has jurisdiction over Defendant Inpax Shipping Solutions Inc. because it is a foreign transport company that engages in the business of shipping and transporting items in the State of Texas and Plaintiff's causes of action arise out of Defendant Inpax Shipping Solutions' business activities in the State of Texas and has "purposefully availed" itself of the privilege of conducting activities in Texas. *Kelly v. General Interior Constr., Inc.*, 301 S.W.3d 653, 660-61 (Tex. 2010).
11. The Court has jurisdiction over Defendant INSS, LLC because it is a foreign transport company that engages in the business of shipping and transporting items in the State of Texas and Plaintiff's causes of action arise out of Defendant INSS, LLC's business activities in the State of Texas. Specifically, INSS, LLC employed Defendant Anipole and has "purposefully availed" itself of the privilege of conducting activities in Texas. *Kelly v. General Interior Constr., Inc.*, 301 S.W.3d 653, 660-61 (Tex. 2010).

### **VENUE**

12. Venue is proper in Dallas County, Texas, because the Property is situated in Dallas County, Texas. TEX. CIV. PRAC. & REM. CODE § 15.032.

## **FACTS**

13. At 5:09 pm, Plaintiff's neighbors called the Dallas Police who arrived at the scene at 5:11 pm and generated a report. [Exhibit A].
14. At approximately 5:15 pm on the evening of June 19, 2016, Plaintiff's neighbor, Ms. Harrison, called Plaintiff. Plaintiff's neighbor informed her that Defendant Anipole was making a delivery for Defendants Amazon.com LLC, Inpax Shipping Solutions Inc., and INSS, LLC to Plaintiff's neighbor's home. Allegedly after making the delivery, Defendant Anipole accelerated the delivery truck, jumping the curb of the cul-de-sac, crashed into Plaintiff's and her neighbor's brick mailboxes, and continued driving straight into Plaintiff's home, specifically Plaintiff's dining room window of the property located at: 12544 Renoir Lane, Dallas, Texas 76230 ("the Property").
15. Defendant Anipole further attempted to flee the scene but was stopped by Plaintiff's neighbor. The Property sustained severe structural damage to the interior and exterior of the home, foundation, dining room window, exterior brick, inside wall near the window, shrubbery, outdoor lighting and sprinkler systems.
16. Plaintiff was further informed that Defendant Anipole was in an accident the previous week.
17. On June 20, 2016, Plaintiff contacted the Dallas Police to secure a copy of the report with Case ID: 148435-2016, which was unavailable until June 28, 2016. The police report indicated that at 5:05 pm on June 19, 2016, a white 2016 Nissan van with license plate number: GNY7112 driven by Defendant Anipole, with driver's license number: 40237878 collided into two brick mailboxes and continued into the front left of a house located at 12544 Renoir Lane. The report states that the unit applied the accelerator

pedal, driving over the curb, colliding with two brick mailboxes, and continued into the front left of Plaintiff's home.

18. On the same day, Plaintiff turned off her television and heard rushing water. Plaintiff walked through her home and observed water flooding through her dining room via the missing window from the outdoor sprinkler system. Plaintiff immediately attempted to turn off the sprinkler system, but irreparable damage had already been sustained by the water from the sprinkler system entering into the home.
19. On June 21, 2016, Plaintiff began making phone calls to contractors in the area in order to mitigate the damage. However, Plaintiff was told that due to the July 4th holiday, most of the contractors would take anywhere from a few days to a few weeks to get a quote.
20. On July 1, 2016, Plaintiff had Carl Dill Services inspect the sprinkler system. In order to mitigate any further damage to the Property, Plaintiff temporarily placed an adapter on the spout. Similarly, Plaintiff had someone inspect the window to determine what should be done regarding the severe damage to the window and frame.
21. On July 3, 2016, Plaintiff had Hamilton Interior Finishes, LLC inspect the house. Plaintiff was informed that there was extensive interior and exterior damage. Hamilton Interior Finishes, LLC suggested Plaintiff may need to retain a structural engineer to inspect the foundation.
22. On July 11, 2016, Richard Lowrey, a claims adjuster for Brezina Claim Associates, Inc. arrived to inspect the Property with Mr. Hamilton and Jay Hamm, a structural engineer. Mr. Hamilton and Mr. Hamm advised Plaintiff that she would likely need to replace everything damaged portion of the Property.

23. Brezina Claim Associates inspected the property for insurer, Am-Trust North America, as Defendant Inpax Shipping Solutions Inc. is the insured. Mr. Lowrey estimated the replacement cost value of the property to be \$8,410.02, less non-recoverable depreciation in the amount of \$528.32, for net claim in the amount of \$7,881.70. This amount is insufficient to restore the Property to its pre-loss condition and is an intentional attempt to underpay Plaintiff for her loss. Further, Plaintiff has never received an engineering report or any indication as to the findings and recommendations of Mr. Hamilton and Mr. Hamm.
24. On July 14, 2016, Plaintiff contacted Brick Doctor in order to get a quote for the damage to the brick mailbox as well as the brick exterior of her home. The Property was inspected on July 27, 2016. Brick Doctor estimated the damage to the mailbox to be \$1,650.00. The proposal included re-building the mailbox to the same design and replacing the broken brick with material of like kind and quality. With respect to the house, Brick Doctor estimated the damage to the brick to be \$2,108.00. The proposal included removing all brick from the windowsill and re-doing the foundation and replacing the broken brick with material of like kind and quality.
25. Defendants failure to provide an adequate settlement of Plaintiff's severe Property damage forced Plaintiff to retain the legal services of McClenny Moseley & Associates, PLLC on September 14, 2016.
26. On September 26, 2016, Plaintiff retained Becker Engineering to inspect the Property and provide an engineering opinion. [Exhibit B]. Gregory Becker with Becker Engineering observed new cracks and separations in the brick veneer and junction of the frieze board. Although some areas outside the dining room were previously repaired, the vehicle collision showed a re-opening as well as a cracked foundation. The dining room window was destroyed and the glazing was separated from the frame. The window frame

was bowed, cracked, and separated. Mr. Becker observed that new cracks and separations were observed in the interior, consistent with the deflection of vibrations due to the impact of the vehicle, causing stress cracks and fractures. Mr. Becker also observed that the hardwood floor shows evidence of cupping due to the sprinkler water.

27. Mr. Becker stated that assuming the Amazon truck was 3,200 pounds and traveling at a speed of 30 miles per hour, the approximate force of impact would be 96,800 foot-pounds. It was observed that the collision with the brick mailboxes had little effect on the speed of the vehicle colliding into Plaintiff's home.
28. Mr. Becker recommended the re-building of the mailbox as well as repairing or replacing the outdoor sprinkler and lighting systems. Mr. Becker recommended replacing the exterior brick veneer and repairing the separated frieze board. Mr. Becker also recommended replacing the damaged window and frames. Further, Mr. Becker recommended the removal and replacement of the interior hardwood flooring as well as the interior sheetrock and trim.
29. Plaintiff was also forced to retain the services of a professional estimate writer to properly scope and evaluate the Property. On or around October 28, 2016, Plaintiff's professional estimate writer inspected the Property and estimated the damages to be in the amount of \$140,848.35. [Exhibit C].
30. With regard to the exterior, Plaintiff's professional estimate writer estimated for the removal and replacement of the brick mailbox as well as installing and removing a house wrap to secure the air/moisture barrier. Plaintiff's professional estimate writer also estimated for the removal and replacement of the brick veneer of the chimney, as well as removing and replacing the chimney cap and

case cover. For the second chimney, Plaintiff's professional estimate writer estimated for the removal and replacement of chimney flashing, ½-inch sheathing, brick veneer, a chimney cap, and a flue cap.

31. With respect to the left elevation, Plaintiff's professional estimate writer estimated for the removal and replacement of the brick veneer. Similarly, for the rear and right elevations, Plaintiff's public adjuster estimated for the removal and replacement of the brick veneer and door jamb and trim, as well as associated costs for resetting the wooden fence and air condenser unit.
32. Plaintiff's professional estimate writer also estimated for the removal and replacement of 1-inch by 4-inch trim board to replace the freeze board on the exterior perimeter, as well as sealing and painting costs. Additionally, Plaintiff's professional estimate writer estimated for the removal and replacement of the brick to replace the brick fence with material of like kind and quality.
33. With respect to the interior, Plaintiff's professional estimate writer estimated for the pack-out, pack-in costs associated with the content, including fine art storage, a variety of storage boxes, furniture blankets, and bubble wrap.
34. With respect to the dining room, Plaintiff's professional estimate writer estimated for the removal and replacement of the wooden window, including removing and replacing the window sill, batt insulation, ½-inch drywall, shutters, and interior door. The professional estimate writer also estimated for texturing the drywall, as well as sealing and painting the walls and window sill. The professional estimate writer also estimated for the removal and replacement of the oak flooring, sanding, staining, and finishing the wood floor.



35. With respect to the foyer/entry, kitchen, living room, family room, laundry room, bedrooms, laundry room and garage, Plaintiff's professional estimate writer estimated for the removal and replacement of drywall, texturing the drywall, painting the ceiling and walls, and painting the crown molding, among other things.
36. Defendant Anipole acted as an authorized agent of Defendants Inpax Shipping Solutions Inc. and INSS, LLC. Defendant Anipole acted within the course and scope of his authority as an employee of Defendants Inpax Shipping Solutions Inc. and INSS, LLC.
37. Similarly, Defendants Inpax Shipping Solutions Inc. and INSS, LLC acted as agents of Defendant Amazon.com LLC. Defendant Amazon.com LLC is vicariously liable for the actions of Defendants Inpax Shipping Solutions Inc, INSS, LLC and Anipole.
38. As a result of Defendant Anipole's act, including driving Defendant Amazon.com LLC's delivery truck in the course of Defendants Inpax Shipping Solutions Inc. and INSS, LLC's scope of employment into Plaintiff's Property, Plaintiff was forced to retain the professional services of McClenny Moseley & Associates, PLLC, who is representing Plaintiff with respect to these causes of action.

### **CAUSES OF ACTION:**

#### **NEGLIGENCE**

39. Plaintiff hereby incorporates by reference all facts and circumstances set forth under the foregoing paragraphs.
40. Defendant Amazon.com LLC is vicariously liable for the actions of Defendants Inpax Shipping Solutions Inc. and INSS, LLC because Defendant Amazon.com LLC employs Defendants Inpax Shipping Solutions Inc. and INSS, LLC to conduct its business. Similarly, Defendant Amazon.com LLC is vicariously liable

for the actions of Defendant Anipole, because Defendant Anipole is an employee of Defendants Inpax Shipping Solutions Inc. and INSS, LLC. *See St. Joseph Hosp. v. Wolff*, 94 S.W.3d 513, 540 (Tex. 2002) (plurality) ("The common law has long recognized that liability for one person's fault may be imputed to another who is himself entirely without fault solely because of the relationship between them.").

41. "There are three essential elements in a common law negligence claim (1) a legal duty owed by one person to another, (2) a breach of that duty; and (3) damage proximately caused by the breach. *See Werner v. Colwell*, 909 S.W. 2d 866, 869 (Tex. 1995); *Pinkerton's v. Manriquez*, 964 S.W. 2d 39, 44 (Tex. App.—Houston [14th Dist.] 1997, pet. denied).
42. Defendant Anipole owed Plaintiff a general duty of reasonable care because operators of commercial vehicles should have a commercial driver's license and operate vehicles in a safe manner.
43. Defendant Anipole breached this duty by misapplying the acceleration pedal instead of the brake pedal plowing through Plaintiff's mailbox and continuing through her dining room.
44. As a result of Defendant Anipole's action, Plaintiff sustained severe Property damages.
45. Further, as a result of Defendant Anipole's negligent actions, Defendants Inpax Shipping Solutions Inc., INSS, LLC, and Amazon.com LLC are liable to Plaintiff for the damages sustained to her Property, as Defendant Anipole was acting within the scope and course of his employment with Defendants Inpax Shipping Solutions Inc. and INSS, LLC. Defendants Inpax Shipping Solutions Inc. and INSS, LLC acted within the scope and course of their employment with Defendant Amazon.com LLC.

## **GROSS NEGLIGENCE**

46. Plaintiff hereby incorporates by reference all facts and circumstances set forth under the foregoing paragraphs.
47. Gross negligence means an act or omission: (A) which when viewed objectively from the standpoint of the actor at the time of its occurrence involves an extreme degree of risk, considering the probability and magnitude of the potential harm to others; and (B) of which the actor has actual, subjective awareness of the risk involved, but nevertheless proceeds with conscious indifference to the rights, safety, or welfare of others. TEX. CIV. PRAC. & REM. CODE § 41.001, .003(a).
48. Viewing Defendant Anipole's actions objectively, accelerating an Amazon delivery vehicle over the curb, through a brick mailbox, and into the dining room of a house involves extreme risk and has the potential to cause severe and substantial harm to others. Had Plaintiff been in the dining room, there would have been a high likelihood of serious bodily injury or death. Further, instead of applying the brakes, Defendant Anipole accelerated, driving over the curb, through the brick mailboxes, and into Plaintiff's home. Had Plaintiff been home at the time, or sitting in her dining room, she would have sustained severe injuries due to Defendant Anipole's actions. Instead of applying the brakes, Defendant Anipole wrongfully and unjustifiably accelerated the Amazon vehicle.
49. All Defendants are liable for gross negligence as Defendant Anipole was acting within the scope and course of his employment with Defendants Inpax Shipping Solutions Inc. and INSS, LLC. Defendants Inpax Shipping Solutions Inc. and INSS, LLC acted within the scope and course of their employment with Defendant Amazon.com LLC.

## **NEGLIGENT HIRING**

50. Plaintiff hereby incorporates by reference all facts and circumstances set forth under the foregoing paragraphs.
51. “An employer owes a duty to its other employees and the general public to ascertain the qualifications and competence of the employees it hires, especially where the occupation at issue could cause hazard to others or requires skilled or experienced persons.” *Phillips v. Super Servs. Holdings, LLC*, 189 F. Supp. 3d 640, 648 (S.D. Tex. May 26, 2016) (citing *Morris v. JTM Materials, Inc.*, 78 S.W.3d 28, 49 (Tex.App.—Fort Worth 2002, no pet.)). An employer is liable for negligent hiring if it hires an incompetent or unfit employee whom it knows, or by the exercise of reasonable care should have known, was incompetent or unfit, creating an unreasonable risk of harm to others. *Id.*
52. At all relevant times, Defendant Anipole was an agent or employee of Defendant INSS, LLC.
53. At all relevant times, Defendants Inpax Shipping Solutions Inc. and INSS, LLC were agents or employees of Defendant Amazon.com LLC.
54. Defendants Inpax Shipping Solutions Inc. and INSS, LLC are liable for negligent hiring because they hired an incompetent and unfit employee who was in an accident one week prior to the incident on June 19, 2016. Defendants Inpax Shipping Solutions Inc. and INSS, LLC failed to investigate properly into Defendant Anipole’s past accident history. Had Defendants Inpax Shipping Solutions Inc. and INSS, LLC investigated properly and exercised due care in hiring Defendant Anipole, they would have known that Defendant Anipole was unfit for the position of operating the vehicle.

55. Defendant Amazon.com LLC is liable for negligent hiring because its employees, Defendants Inpax Shipping Solutions Inc. and INSS, LLC hired an incompetent and unfit employee who was in an accident one week prior to the incident on June 19, 2016. Defendant Amazon.com LLC failed to investigate properly into Defendants Inpax Shipping Solutions Inc. and INSS, LLC hiring procedures. Had Defendant Amazon.com LLC investigated properly and exercised due care in hiring Defendants Inpax Shipping Solutions Inc. and INSS, LLC it would have known that Defendant Anipole was unfit for the position of operating the vehicle.

### **NEGLIGENT ENTRUSTMENT**

56. Plaintiff hereby incorporates by reference all facts and circumstances set forth under the foregoing paragraphs.

57. In order to prevail on a negligent entrustment action, Plaintiff must show: “(1) the defendant entrusted the vehicle to the driver; (2) that person was an unlicensed, incompetent, or reckless driver; (3) at the time of the entrustment, the defendant knew or should have known that the driver was an unlicensed, incompetent, or reckless driver; (4) the driver was negligent on the occasion in question; and (5) the driver’s negligence proximately caused the accident.” *Goodyear Tire & Rubber Co. v. Mayes*, 236 S.W.3d 754, 758 (Tex.2007).

58. At all relevant times, Defendant Anipole was an agent or employee of Defendants Inpax Shipping Solutions Inc. and INSS, LLC.

59. At all relevant times, Defendants Inpax Shipping Solutions Inc. and INSS, LLC were agents or employees of Defendant Amazon.com LLC.

60. Defendants Inpax Shipping Solutions Inc. and INSS, LLC are liable for negligent entrustment because they entrusted the Amazon vehicle to Defendant Anipole. As stated previously, Defendant Anipole was incompetent or reckless as he drove over the curb, through Plaintiff's mailbox, and into Plaintiff's Property. Defendants Inpax Shipping Solutions Inc. and INSS, LLC should have known Defendant Anipole was incompetent or reckless if they had looked into Defendant Anipole's prior accident history. As stated previously, Defendant Anipole was negligent as he owed a duty of reasonable care to Plaintiff, breached that duty, and caused substantial Property damages.
61. Defendant Amazon.com LLC is liable for negligent entrustment because it entrusted the Amazon vehicle to Defendants Inpax Shipping Solutions Inc. and INSS, LLC which employed an incompetent or reckless driver, Defendant Anipole, whom Defendants Inpax Shipping Solutions Inc. and INSS, LLC knew or should have known was incompetent or reckless. Further, as stated previously, Defendant Anipole was negligent as he owed a duty of reasonable care to Plaintiff, breached that duty, and caused substantial Property damages.

### **DAMAGES**

62. Plaintiff will show that all of the aforementioned acts, taken together or singularly, constitute the producing causes of the damages sustained by Plaintiff.
63. A plaintiff may recover exemplary damages only if she proves by clear and convincing evidence that the harm with respect to which the claimant seeks recovery of exemplary damages results from (1) fraud; (2) malice; or (3) gross negligence. TEX. CIV. PRAC. & REM. CODE § 41.003(a). The exemplary damages may not exceed an amount equal to the greater of 1) (A) two times the amount of economic damages; plus (B)

an amount equal to any noneconomic damages found by the jury, not to exceed \$750,000; or 2) \$200,000.

§ 41.008(b).

64. Defendant's acts have been the producing and/or proximate cause of damage to Plaintiff, and Plaintiff seeks an amount in excess of the minimum jurisdictional limits of this Court.

65. More specifically, Plaintiff seeks monetary relief, including damages of any kind, penalties, costs, expenses, pre-judgment interest, and attorney's fees in excess of \$1,000,000.00.

### **ATTORNEY'S FEES**

66. For the prosecution and collection of this claim, Plaintiff has been compelled to engage the services of the law firm whose name is subscribed to this pleading. Therefore, Plaintiff is entitled to recover from Defendants an additional sum to compensate Plaintiff for the reasonable and necessary services of Plaintiff's attorneys in the preparation and trial of this action, including any appeals to the Court of Appeals and/or the Supreme Court of Texas pursuant to TEX. CIV. PRAC. & REM. CODE §§ 38.001-.005.

### **JURY DEMAND**

67. Plaintiff demands a jury trial, consisting of citizens residing in Dallas County, Texas, and tenders the appropriate fee with this Original Petition.

### **CONCLUSION**

68. Plaintiff prays that judgment be entered against Defendant Amazon.com LLC, Oladaya Anipole, Inpax Shipping Solutions Inc., and INSS, LLC and that Plaintiff be awarded all of her actual damages, consequential damages, prejudgment interest, additional statutory damages, post judgment interest, reasonable and necessary attorney's fees, court costs and for all such other relief, general or specific, in law or in equity, whether pled or un-pled within this Original Petition.

**PRAYER**

WHEREFORE, PREMISES CONSIDERED, Plaintiff prays she be awarded all such relief to which she is due as a result of the acts of Defendants Amazon.com LLC, Oladaya Anipole, Inpax Shipping Solutions Inc., and INSS, LLC, and for all such other relief to which Plaintiff may be justly and rightfully entitled. In addition, Plaintiff requests the award of attorney's fees for the trial and any appeal of this lawsuit, for all costs of Court on her behalf expended, for pre-judgment and post-judgment interest as allowed by law, and for any other and further relief, either at law or in equity, to which Plaintiff may show the herself to be justly entitled.

RESPECTFULLY SUBMITTED,



MCCLENNY MOSELEY & ASSOCIATES, PLLC

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J. Zachary Moseley

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ATTORNEYS FOR PLAINTIFF



# EXHIBIT “A”

*Dallas Police Report Case ID: 148435-2016*



MCCLENNY | MOSELEY  
& ASSOCIATES

Dallas Police

Records Section

1400 S. Lamar

Dallas, TX 75215

(214) 671-3345

04611 Annette

Chk 318 Jun28'16 11:18AM Gst 0

External Pub

1 Accident CSW	6.00
Cash	6.00
Subtotal	6.00
Payment	6.00

☐ FATAL ☐ CMV ☐ SCHOOL BUS ☐ RAILROAD ☐ MAB ☐ SUPPLEMENT ☐ ACTIVE SCHOOL ZONE

Total Num. Units 1 Total Num. Prsns. 1 TxDOT Crash ID 15164719.1 /2016291672



**Texas Peace Officer's Crash Report (Form CR-3 1/1/2015)**  
 Mail to: Texas Department of Transportation, Crash Data and Analysis, P.O. Box 149349, Austin, TX 78714. Questions? Call 844/274-7457  
 Refer to Attached Code Sheet for Numbered Fields

\*=These fields are required on all additional sheets submitted for this crash (ex.: additional vehicles, occupants, injured, etc.).

Page 1 of 2

*Crash Date (MM/DD/YYYY) 06 / 19 / 2016		*Crash Time (24HRMM) 1 7 0 5		Case ID 148435-2016		Local Use																																																							
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In your opinion, did this crash result in at least \$1,000 damage to any one person's property?				Latitude (decimal degrees)		Longitude (decimal degrees)																																																							
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<table border="1"> <thead> <tr> <th>Person Num.</th> <th>12 Prsn. Type</th> <th>13 Seat Position</th> <th>Name: Last, First, Middle Enter Driver or Primary Person for this Unit on first line</th> <th>14 Injury Severity</th> <th>Age</th> <th>15 Ethnicity</th> <th>16 Sex</th> <th>17 Eject.</th> <th>18 Restr.</th> <th>19 Airbag</th> <th>20 Helmet</th> <th>21 Sol.</th> <th>22 Alc. Spec.</th> <th>Alc. Result</th> <th>23 Drug Spec.</th> <th>24 Drug Result</th> <th>25 Drug Category</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>1</td> <td>1</td> <td>ANIPOLE, OLADAYO</td> <td>N</td> <td>29</td> <td>B</td> <td>1</td> <td>1</td> <td>1</td> <td>1</td> <td>97</td> <td>N</td> <td>96</td> <td></td> <td>96</td> <td>97</td> <td>97</td> </tr> <tr> <td colspan="18">Not Applicable - Alcohol and Drug Results are only reported for Driver/Primary Person for each Unit.</td> </tr> </tbody> </table>								Person Num.	12 Prsn. Type	13 Seat Position	Name: Last, First, Middle Enter Driver or Primary Person for this Unit on first line	14 Injury Severity	Age	15 Ethnicity	16 Sex	17 Eject.	18 Restr.	19 Airbag	20 Helmet	21 Sol.	22 Alc. Spec.	Alc. Result	23 Drug Spec.	24 Drug Result	25 Drug Category	1	1	1	ANIPOLE, OLADAYO	N	29	B	1	1	1	1	97	N	96		96	97	97	Not Applicable - Alcohol and Drug Results are only reported for Driver/Primary Person for each Unit.																	
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<input type="checkbox"/> Owner <input checked="" type="checkbox"/> Lessee Owner/Lessee Name & Address INSS, LLC, PO BOX 16290 ATLANTA, GA 30321																																																													
Proof of Fin. Resp. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Expired <input type="checkbox"/> Exempt 26 Fin. Resp. Type 2		Fin. Resp. Name WESCO INS. CO.		Fin. Resp. Num. WPP141294600																																																							
Fin. Resp. Phone Num. (212) 220-7120		27 Vehicle Damage Rating 1 1 2 - - F D - 1		27 Vehicle Damage Rating 2 1 2 - - F L - 1		Vehicle Inventoried <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																																																							
Towed By Towed To																																																													
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Fin. Resp. Phone Num.		27 Vehicle Damage Rating 1		27 Vehicle Damage Rating 2		Vehicle Inventoried <input type="checkbox"/> Yes <input type="checkbox"/> No																																																							
Towed By Towed To																																																													

Case  
ID 148435-2016TxDOT  
Crash ID 15164719.1/2016291672

DISPOSITION OF INJURED/KILLED	Unit Num.	Prsn. Num.	Taken To	Taken By	Date of Death (MM/DD/YYYY)	Time of Death (24HR:MM)

CHARGES	Unit Num.	Prsn. Num.	Charge	Citation/Reference Num.

DAMAGE	Damaged Property Other Than Vehicles		Owner's Name	Owner's Address
	HOUSE & BRICK MAILBOX		DAVIS, SUZANNE	12544 RENOIR LN DALLAS, TX 75230
	BRICK MAILBOX		GRAFFY, GEORGE	12548 RENOIR LN DALLAS, TX 75230

CMV	Unit Num.	<input type="checkbox"/> 10,001+ 1.85.	<input type="checkbox"/> TRANSPORTING HAZARDOUS MATERIAL	<input type="checkbox"/> 9+ CAPACITY	CMV Disabling Damage?	<input type="checkbox"/> Yes <input type="checkbox"/> No	28 Veh. Oper.	29 Carrier ID Type	Carrier ID Num.	
	Carrier's Corp. Name		Carrier's Primary Addr.		30 Veh. Type					
	31 Bus Type	<input type="checkbox"/> RGWW <input type="checkbox"/> GVWR	HazMat Released	<input type="checkbox"/> Yes <input type="checkbox"/> No	32 HazMat Class Num.	HazMat ID Num.	32 HazMat Class Num.	HazMat ID Num.	33 Cargo Body Style	
	Trailer 1 Unit Num.	<input type="checkbox"/> RGWW <input type="checkbox"/> GVWR	34 Trlr. Type	CMV Disabling Damage?	<input type="checkbox"/> Yes <input type="checkbox"/> No	Trailer 2 Unit Num.	<input type="checkbox"/> RGWW <input type="checkbox"/> GVWR	34 Trlr. Type	CMV Disabling Damage?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	Sequence Of Events	35 Seq. 1		35 Seq. 2		35 Seq. 3		35 Seq. 4		

FACTORS & CONDITIONS	36 Contributing Factors (Investigator's Opinion)				37 Vehicle Defects (Investigator's Opinion)				Environmental and Roadway Conditions					
	Unit #	Contributing	May Have Contrib.		Contributing	May Have Contrib.		38 Weather Cond.	39 Light Cond.	40 Entering Roads	41 Roadway Type	42 Roadway Alignment	43 Surface Condition	44 Traffic Control
	1	98							1	1	97	1	4	1

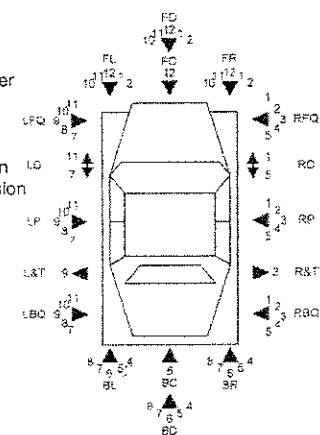
NARRATIVE AND DIAGRAM	Investigator's Narrative Opinion of What Happened (Attach Additional Sheets if Necessary)	Field Diagram - Not to Scale
	<p>Unit #1 was attempting to parallel park facing south against the east curb of 12500 Renoir Lane in the cul-de-sac. Unit #1 driver misapplied the accelerator pedal instead of the brake pedal and Unit #1 drove forward over the east curb in a southeasterly direction. Unit #1 collided front distributed to two brick mailboxes and continued traveling S/E. Unit #1 then collided front left to a house at 12544 Renoir Lane.</p>	

INVESTIGATOR	Time Notified (24HR:MM)	1	7	0	8	How Notified	DISPATCHED	Time Arrived (24HRMM)	1	7	1	1	Report Date (MM/DD/YYYY)	0	6	1	9	2	0	1	6									
	Invest. Comp.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Investigator Name (Printed)		HARRIS, K J																									
	ORI Num.	T X 0 0 0 0 0 0 0 6																Agency				DALLAS POLICE DEPARTMENT				Service/ Region/DA	0	9		
	ID Num. 7026																													

**Texas Peace Officer's Crash Report - Code Sheet**

Numbered Fields on the CR-3 Refer to the Numbered Lists on this Code Sheet. Each list includes the codes that may be entered on the form and the description of each code.

<b>IDENTIFICATION AND LOCATION</b>	<b>1. Roadway System</b> IH = Interstate US = US Highway SH = State Highway FM = Farm to Market RR = Ranch Road RM = Ranch to Market BI = Business Interstate BU = Business US BS = Business State BF = Business FM SL = State Loop  TL = Toll Road AL = Alternate SP = Spur CR = County Road PR = Park Road PV = Private Road RC = Recreational Road LR = Local Road/Street (Street, Road, Ave., Blvd., Pl., Trl., Beach, Alley, Boat Ramp, etc.)		<b>2. Roadway Part</b> 1 = Main/Proper Lane 2 = Service/Frontage Road 3 = Entrance/On Ramp 4 = Exit/Off Ramp 5 = Connector/Flyover 98 = Other (Explain in Narrative)		<b>3. Street Prefix, Direction from Int. or Ref. Marker</b> N = North NE = Northeast E = East SE = Southeast S = South SW = Southwest W = West NW = Northwest		<b>4. Street Suffix</b> RD = Road ST = Street DR = Drive AVE = Avenue BLVD = Boulevard PKWY = Parkway LN = Lane FWY = Freeway HWY = Highway WAY = Way TRL = Trail  LOOP = Loop EXPY = Expressway CT = Court CIR = Circle PL = Place PARK = Park CV = Cove										
	<b>5. Unit Description</b> 1 = Motor Vehicle 2 = Train 3 = Pedalcyclist 4 = Pedestrian 5 = Motorized Conveyance 6 = Towed/Trailer 7 = Non-Contact 98 = Other (Explain in Narrative) 99 = Unknown		<b>6. Vehicle Color</b> BGE = Beige BLK = Black BLU = Blue BRZ = Bronze BRO = Brown CAM = Camouflage CPR = Copper GLD = Gold GRY = Gray GRN = Green MAR = Maroon MUL = Multicolored ONG = Orange  PNK = Pink PLE = Purple RED = Red SIL = Silver TAN = Tan TEA = Teal (green) TRQ = Turquoise (blue) WHI = White YEL = Yellow 98 = Other (Explain in Narrative) 99 = Unknown		<b>7. Body Style</b> P2 = Passenger Car, 2-Door P4 = Passenger Car, 4-Door PK = Pickup AM = Ambulance BU = Bus SB = Yellow School Bus FE = Farm Equipment FT = Fire Truck MC = Motorcycle SV = Sport Utility Vehicle  PC = Police Car/Truck PM = Police Motorcycle TL = Trailer, Semi-Trailer, or Pole Trailer TR = Truck TT = Truck Tractor VN = Van NEV = Neighborhood Electric Vehicle 98 = Other (Explain in Narrative) 99 = Unknown		<b>8. Driver License/ID Type</b> 1 = Driver License 2 = Commercial Driver Lic. 3 = Occupational 4 = ID Card 5 = Unlicensed 98 = Other 99 = Unknown		<b>9. Driver License Class</b> A = Class A AM = Class A and M B = Class B BM = Class B and M C = Class C CM = Class C and M M = Class M 5 = Unlicensed 98 = Other/Out of State 99 = Unknown		<b>10. Commercial Driver License Endorsements</b> H = Hazardous Materials N = Tank Vehicles P = Passengers S = School Bus T = Double/Triple Trailer X = Tank Vehicle with HazMat 5 = Unlicensed 96 = None 98 = Other/Out of State 99 = Unknown						
<b>VEHICLE, DRIVER, AND PERSONS</b>	<b>11. Driver License Restrictions</b> A = With corrective lenses B = LOFS 21 or over C = Daytime only D = Not to exceed 45 MPH E = No expressway driving F = Must hold valid learner lic to MM/DD/YY G = TRC 545.424 applies until MM/DD/YY H = Vehicle not to exceed 26,000 lbs GVWR I = MC not to exceed 250 CC J = Licensed MC operator 21 or over in sight K = Moped L = Vehicle without airbrakes M = CDL Intrastate only N = Ignition interlock required O = Occ./Essent. need DL-No CMV-see court order Q = LOFS 21 or over vehicle above Class B R = LOFS 21 or over vehicle above Class C		S = Outside rearview mirror or hearing aid T = Automatic transmission U = Applicable prosthetic device V = Medical variance documentation required W = Power steering X = Vehicle not to exceed Class C Y = Valid TX vision or limb waiver required Z = Applicable vehicle devices P1 = For Class M TRC 545.424 until MM/DD/YY P2 = To/From work/school P3 = To/From work P4 = To/From school P5 = To/From work/school or a LOFS 21 or over P6 = To/From work or LOFS 21 or over P7 = To/From school or LOFS 21 or over P8 = With telescopic lens P9 = LOFS 21 or over bus only P10 = LOFS 21 or over school bus only		P11 = Bus not to exceed 26,000 lbs GVWR P12 = Passenger CMVs restrict to Class C only P13 = LOFS 21 or over in veh equip w/airbrakes P14 = Operation Class B exempt veh authorized P15 = Operation Class A exempt veh authorized P16 = If CMV, school buses interstate P17 = If CMV, government vehicles interstate P18 = If CMV, only trans personal prop interstate P19 = If CMV, trans corpse/sick/injured interstate P20 = If CMV, privately trans passengers interstate P21 = If CMV, fire/rescue interstate P22 = If CMV, intra-city zone drivers interstate P23 = If CMV, custom-harvesting interstate P24 = If CMV, transporting bees/hives interstate P25 = If CMV, use in oil/water well serv/drill P26 = If CMV, for operation of mobile crane P27 = HME expiration date MM/DD/YY P28 = FRSI CDL valid MM/DD/YY to MM/DD/YY P29 = FRSI CDL MM/DD/YY - MM/DD/YY or exempt B veh P30 = FRSI CDL MM/DD/YY - MM/DD/YY or exempt A veh P31 = Class C only - no taxi/bus/emergency veh P32 = Other 5 = Unlicensed 96 = None 98 = Other/Out of State 99 = Unknown												
	<b>12. Person Type</b> 1 = Driver 2 = Passenger/Occupant 3 = Pedalcyclist 4 = Pedestrian 5 = Driver of Motorcycle Type Vehicle 6 = Passenger/Occupant on Motorcycle Type Vehicle 98 = Other (Explain in Narrative) 99 = Unknown		<b>13. Seat Position</b> 1 = Front Left 2 = Front Center 3 = Front Right 4 = Second Seat Left 5 = Second Seat Center 6 = Second Seat Right 7 = Third Seat Left 8 = Third Seat Center 9 = Third Seat Right		10 = Cargo Area 11 = Outside Vehicle 13 = Other in Vehicle 14 = Passenger in Bus 16 = Pedestrian, Pedalcyclist, or Motorized Conveyance 98 = Other (Explain in Narrative) 99 = Unknown		<b>14. Injury Severity</b> A = Incapacitating Injury B = Non-Incapacitating Injury C = Possible Injury K = Killed N = Not Injured 99 = Unknown		<b>15. Ethnicity</b> W = White B = Black H = Hispanic A = Asian I = Amer. Indian/Alaskan Native 98 = Other 99 = Unknown		<b>16. Sex</b> 1 = Male 2 = Female 99 = Unknown		<b>17. Ejected</b> 1 = No 2 = Yes 3 = Yes, Partial 97 = Not Applicable 99 = Unknown		<b>18. Restraint Used</b> 1 = Shoulder and Lap Belt 2 = Shoulder Belt Only 3 = Lap Belt Only 4 = Child Seat, Facing Forward 5 = Child Seat, Facing Rear 6 = Child Seat, Unknown 7 = Child Booster Seat 96 = None 97 = Not Applicable 98 = Other (Explain in Narrative) 99 = Unknown		<b>19. Airbag</b> 1 = Not Deployed 2 = Deployed, Front 3 = Deployed, Side 4 = Deployed, Rear 5 = Deployed, Multiple 97 = Not Applicable 99 = Unknown
<b>20. Helmet Use</b> 1 = Not Worn 2 = Worn, Damaged 3 = Worn, Not Damaged 4 = Worn, Unk. Damage 97 = Not Applicable 99 = Unknown If Worn		<b>21. Solicitation</b> Y = Solicit N = No Solicit		<b>22. Alcohol Specimen Type</b> 1 = Breath 2 = Blood 3 = Urine 4 = Refused 96 = None 98 = Other (Explain in Narrative)		<b>23. Drug Specimen Type</b> 2 = Blood 3 = Urine 4 = Refused 96 = None 98 = Other (Explain in Narrative)		<b>24. Drug Test Result</b> 1 = Positive 2 = Negative 97 = Not Applicable 99 = Unknown		<b>25. Drug Category</b> 2 = CNS Depressants 3 = CNS Stimulants 4 = Hallucinogens 6 = Narcotic Analgesics 7 = Inhalants 8 = Cannaboids 10 = Dissociative Anesthetics 11 = Multiple Drugs (Explain in Narrative) 97 = Not Applicable 98 = Other Drugs (Explain in Narrative) 99 = Unknown		<b>26. Financial Responsibility Type</b> 1 = Liability Insurance Policy 2 = Proof of Liability Insurance 3 = Insurance Binder 4 = Surety Bond 5 = Certificate of Deposit with Comptroller 6 = Certificate of Deposit with County Judge 7 = Certificate of Self-Insurance		<b>27. Vehicle Damage Rating</b> In most cases, enter in the format XX-ABC-Y, where XX is the Direction of Force (1-12), ABC is the Damage Description 2- or 3-letter code, and Y is the Damage Severity (0-7).  In special cases, use: VB-1 = vehicle burned, NOT due to collision VB-7 = vehicle catches fire due to the collision TP-0 = top damage only VX-0 = undercarriage damage only MC-1 = motorcycle, moped, scooter, etc. NA = Not Applicable (Farm Tractor, etc.)			



**Texas Peace Officer's Crash Report - Code Sheet**

Numbered Fields on the CR-3 Refer to the Numbered Lists on this Code Sheet. Each list includes the codes that may be entered on the form and the description of each code.

<b>COMMERCIAL MOTOR VEHICLE</b>	<b>28. Vehicle Operation</b> 1 = Interstate Commerce 2 = Intrastate Commerce 3 = Not in Commerce 4 = Government 5 = Personal	<b>29. Carrier ID Type</b> 1 = US DOT 2 = TxDOT 3 = ICC/MC 96 = None 98 = Other (Explain in Narrative)	<b>30. Vehicle Type</b> 1 = Passenger Car 2 = Light Truck 3 = Bus (9-15) 4 = Bus (>15) 5 = Single Unit Truck 2 Axles 6 Tires 6 = Single Unit Truck 3 or More Axles 7 = Truck Trailer 8 = Truck Tractor (Bobtail) 9 = Tractor/Semi Trailer 10 = Tractor/Double Trailer 11 = Tractor/Triples Trailer 98 = Other (Explain in Narrative) 99 = Unknown Heavy Truck	<b>31. Bus Type</b> 0 = Not a Bus 1 = School (Public or Private) 2 = Transit 3 = Intercity 4 = Charter 5 = Other 6 = Shuttle 9 = Not Reported/Unknown	<b>32. Hazardous Material Class Number</b> 1 = Explosives 2 = Gases 3 = Flammable Liquids 4 = Flammable Solids 5 = Oxidizers and Organic Peroxides 6 = Toxic Materials and Infectious Substances 7 = Radioactive Materials 8 = Corrosive Materials 9 = Miscellaneous Dangerous Goods
	<b>33. Cargo Body Style</b> 1 = Bus (9-15) 2 = Bus (>15) 3 = Van/Enclosed Box 4 = Cargo Tank 5 = Flatbed 6 = Dump 7 = Concrete Mixer 8 = Auto Transporter 9 = Garbage Refuse 10 = Grain Chips Gravel 11 = Pole 13 = Intermodal 14 = Logging 15 = Vehicle Towing Another Vehicle 97 = Not Applicable 98 = Other (Explain in Narrative)		<b>34. Trailer Type</b> 1 = Full Trailer 2 = Semi-Trailer 3 = Pole Trailer		
<b>FACTORS AND CONDITIONS</b>	<b>35. Sequence of Events</b> 1 = Non-Collision: Ran Off Road 2 = Non-Collision: Jackknife 3 = Non-Collision: Overturn Rollover 4 = Non-Collision: Downhill Runaway 5 = Non-Collision: Cargo Loss Or Shift 6 = Non-Collision: Explosion Or Fire 7 = Non-Collision: Separation of Units 8 = Non-Collision: Cross Median/Centerline 9 = Non-Collision: Equipment Failure 10 = Non-Collision: Other 11 = Non-Collision: Unknown 12 = Collision Involving Pedestrian 13 = Collision Involving Motor Vehicle in Transport 14 = Collision Involving Parked Motor Vehicle 15 = Collision Involving Train 16 = Collision Involving Pedalcycle 17 = Collision Involving Animal 18 = Collision Involving Fixed Object 19 = Collision With Work Zone Maintenance Equipment 20 = Collision With Other Movable Object 21 = Collision With Unknown Movable Object 98 = Other (Explain in Narrative)				
	<b>36. Factors and Conditions</b> 1 = Animal on Road - Domestic 2 = Animal on Road - Wild 3 = Backed without Safety 4 = Changed Lane when Unsafe 14 = Disabled in Traffic Lane 15 = Disregard Stop and Go Signal 16 = Disregard Stop Sign or Light 17 = Disregard Turn Marks at Intersection 18 = Disregard Warning Sign at Construction 19 = Distraction in Vehicle 20 = Driver Inattention 21 = Drove Without Headlights 22 = Failed to Control Speed 23 = Failed to Drive in Single Lane 24 = Failed to Give Half of Roadway 25 = Failed to Heed Warning Sign 26 = Failed to Pass to Left Safely 27 = Failed to Pass to Right Safely 28 = Failed to Signal or Gave Wrong Signal 29 = Failed to Stop at Proper Place 30 = Failed to Stop for School Bus 31 = Failed to Stop for Train 32 = Failed to Yield ROW - Emergency Vehicle 33 = Failed to Yield ROW - Open Intersection 34 = Failed to Yield ROW - Private Drive 35 = Failed to Yield ROW - Stop Sign 36 = Failed to Yield ROW - To Pedestrian 37 = Failed to Yield ROW - Turning Left 38 = Failed to Yield ROW - Turn on Red 39 = Failed to Yield ROW - Yield Sign 40 = Fatigued or Asleep 41 = Faulty Evasive Action 42 = Fire in Vehicle 43 = Fleeing or Evading Police 44 = Followed Too Closely 45 = Had Been Drinking 46 = Handicapped Driver (Explain in Narrative) 47 = Ill (Explain in Narrative) 48 = Impaired Visibility (Explain in Narrative) 49 = Improper Start from Parked Position 50 = Load Not Secured 51 = Opened Door Into Traffic Lane 52 = Oversized Vehicle or Load 53 = Overtake and Pass Insufficient Clearance 54 = Parked and Failed to Set Brakes 55 = Parked in Traffic Lane 56 = Parked without Lights 57 = Passed in No Passing Lane 58 = Passed on Right Shoulder 59 = Pedestrian FTYROW to Vehicle 60 = Unsafe Speed 61 = Speeding - (Over Limit) 62 = Taking Medication (Explain in Narrative) 63 = Turned Improperly - Cut Corner on Left 64 = Turned Improperly - Wide Right 65 = Turned Improperly - Wrong Lane 66 = Turned when Unsafe 67 = Under Influence - Alcohol 68 = Under Influence - Drug 69 = Wrong Side - Approach or Intersection 70 = Wrong Side - Not Passing 71 = Wrong Way - One Way Road 73 = Road Rage 74 = Cell/Mobile Device Use - Talking 75 = Cell/Mobile Device Use - Texting 76 = Cell/Mobile Device Use - Other 77 = Cell/Mobile Device Use - Unknown 98 = Other (Explain in Narrative)				
<b>37. Vehicle Defects</b> 5 = Defective or No Headlamps 6 = Defective or No Stop Lamps 7 = Defective or No Tail Lamps 8 = Defective or No Turn Signal Lamps 9 = Defective or No Trailer Brakes 10 = Defective or No Vehicle Brakes 11 = Defective Steering Mechanism 12 = Defective or Slick Tires 13 = Defective Trailer Hitch 98 = Other (Explain in Narrative)		<b>38. Weather Condition</b> 1 = Clear 2 = Cloudy 3 = Rain 4 = Sleet/Hail 5 = Snow 6 = Fog 7 = Blowing Sand/Snow 8 = Severe Crosswinds 98 = Other (Explain in Narrative) 99 = Unknown	<b>39. Light Condition</b> 1 = Daylight 2 = Dark, Not Lighted 3 = Dark, Lighted 4 = Dark, Unknown Lighting 5 = Dawn 6 = Dusk 98 = Other (Explain in Narrative) 99 = Unknown	<b>40. Entering Roads</b> 2 = Three Entering Roads - T 3 = Three Entering Roads - Y 4 = Four Entering Roads 5 = Five Entering Roads 6 = Six Entering Roads 7 = Traffic Circle 8 = Cloverleaf 97 = Not Applicable 98 = Other (Explain in Narrative)	
<b>41. Roadway Type</b> 1 = Two-Way, Not Divided 2 = Two-Way, Divided, Unprotected Median 3 = Two-Way, Divided, Protected Median 4 = One-Way 98 = Other (Explain in Narrative)		<b>42. Roadway Alignment</b> 1 = Straight, Level 2 = Straight, Grade 3 = Straight, Hillcrest 4 = Curve, Level 5 = Curve, Grade 6 = Curve, Hillcrest 98 = Other (Explain in Narrative) 99 = Unknown	<b>43. Surface Condition</b> 1 = Dry 2 = Wet 3 = Standing Water 4 = Snow 5 = Slush 6 = Ice 7 = Sand, Mud, Dirt 98 = Other (Explain in Narrative) 99 = Unknown	<b>44. Traffic Control</b> 2 = Inoperative (Explain in Narrative) 3 = Officer 4 = Flagman 5 = Signal Light 6 = Flashing Red Light 7 = Flashing Yellow Light 8 = Stop Sign 9 = Yield Sign 10 = Warning Sign 11 = Center Stripe/Divider 12 = No Passing Zone 13 = RR Gate/Signal 15 = Crosswalk 16 = Bike Lane 17 = Marked Lanes 18 = Signal Light With Red Light Running Camera 96 = None 98 = Other (Explain in Narrative)	

# EXHIBIT “B”

*Becker Engineering Report*



MCCLENNY | MOSELEY  
& ASSOCIATES

# EXHIBIT “C”

*Suzanne Callaway-Davis’ Professional Estimate Writer’s Estimate*



MCCLENNY | MOSELEY  
& ASSOCIATES



Price List: TXDF8X\_OCT16  
Restoration/Service/Remodel  
Estimate: CALLAWAY\_

## Professional Public Adjusters, LLC

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

### CALLAWAY\_

#### General

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
1. Taxes, insurance, permits & fees (Bid Item)	1.00 EA		0.00	1,000.00	0.00	200.00	1,200.00
This will include insurance for contents manipulation							
26. Dumpster load - Approx. 40 yards, 7-8 tons of debris	4.00 EA		566.89	0.00	0.00	453.52	2,721.08
50. window protection - plastic and tape - 10 mil	250.00 SF		0.00	1.00	2.06	50.42	302.48
Line item changed to window protection to prevent damage during exterior brick replacement							
207. General Demolition - per hour	160.00 HR		38.50	0.00	0.00	1,232.00	7,392.00
General labor to remove demolished bricks to dumpsters 4 men 1 week							
238. Electrical - Labor Minimum	1.00 EA		0.00	225.03	0.00	45.00	270.03
TO DO AN ELECTRICAL SURVEY OF THE HOUSE SYSTEM AND DELINIATE REPAIRS. A SUPPLEMENTAL ESTIMATE MAY BE NEEDED							
239. Alternate Living Expences	42.00 DA		0.00	500.00	1,732.50	0.00	22,732.50
Line item changed as no other to cover ALE. Allowance for 6 weeks (42 days) of alternate living expenses while the house is repaired. It will not be livable during this time.							
Totals: General					1,734.56	1,980.94	34,618.09

#### Exterior

##### Front Elevation

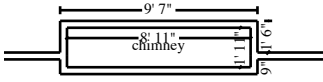
DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
2a. Remove Brick - structural (Giant brick), 4"	655.00 SF		1.62	0.00	0.00	212.22	1,273.32
2b. Brick - structural (Giant brick), 4"	655.00 SF		0.00	7.54	236.14	1,034.96	6,209.80
To rebuild brick mail box structure damaged in accident							
224a. Remove House wrap (air/moisture barrier)	656.00 SF		0.03	0.00	0.00	3.94	23.62
224b. House wrap (air/moisture barrier)	656.00 SF		0.00	0.27	8.12	37.04	222.28
196a. Remove Mailboxes - commercial/group - keyed	2.00 EA		2.40	0.00	0.00	0.96	5.76
196b. Mailboxes - commercial/group - keyed	2.00 EA		0.00	119.20	19.00	51.48	308.88
Totals: Front Elevation					263.26	1,340.60	8,043.66

## Professional Public Adjusters, LLC

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

### chimney

Height: 8'



173.33 SF Walls  
190.42 SF Walls & Ceiling  
1.90 SY Flooring  
21.67 LF Ceil. Perimeter

17.09 SF Ceiling  
17.09 SF Floor  
21.67 LF Floor Perimeter

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
27a. Remove Brick veneer	207.00 SF		1.75	0.00	0.00	72.46	434.71
27b. Brick veneer	207.00 SF		0.00	8.01	61.48	343.92	2,063.47
28a. Remove Chimney flashing - large (32" x 60")	1.00 EA		19.25	0.00	0.00	3.86	23.11
28b. Chimney flashing - large (32" x 60")	1.00 EA		0.00	371.84	6.84	75.72	454.40
30a. Remove Fireplace - chimney cap - concrete	1.00 EA		28.89	0.00	0.00	5.78	34.67
30b. Fireplace - chimney cap - concrete	1.00 EA		0.00	143.67	1.89	29.12	174.68
32a. Remove Fireplace - chimney chase cover - sheetmetal	1.00 EA		14.43	0.00	0.00	2.88	17.31
32b. Fireplace - chimney chase cover - sheetmetal	1.00 EA		0.00	354.39	15.86	74.06	444.31
Totals: chimney					86.07	607.80	3,646.66

### Chimney 2

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
202a. Remove Chimney flashing - large (32" x 60") - copper	1.00 EA		19.25	0.00	0.00	3.86	23.11
202b. Chimney flashing - large (32" x 60") - copper	1.00 EA		0.00	751.63	38.17	157.96	947.76
203a. Remove Sheathing - plywood - 1/2" CDX	192.00 SF		0.43	0.00	0.00	16.52	99.08
203b. Sheathing - plywood - 1/2" CDX	192.00 SF		0.00	1.40	10.14	55.78	334.72
For roof protection during chimney rebuild							
200a. Remove Brick veneer	236.00 SF		1.75	0.00	0.00	82.60	495.60
200b. Brick veneer	236.00 SF		0.00	8.01	70.09	392.10	2,352.55
204a. Remove Fireplace - chimney cap - concrete	1.00 EA		28.89	0.00	0.00	5.78	34.67
204b. Fireplace - chimney cap - concrete	1.00 EA		0.00	143.67	1.89	29.12	174.68

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**CONTINUED - Chimney 2**

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
205a. Remove Flue cap - oversized	1.00 EA		14.43	0.00	0.00	2.88	17.31
205b. Flue cap - oversized	1.00 EA		0.00	214.45	15.82	46.06	276.33
Totals: Chimney 2					136.11	792.66	4,755.81

**Left Elevation**

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
5a. Remove Brick veneer	675.00 SF		1.75	0.00	0.00	236.26	1,417.51
5b. Brick veneer	675.00 SF		0.00	8.01	200.48	1,121.46	6,728.69
23a. Remove House wrap (air/moisture barrier)	675.00 SF		0.03	0.00	0.00	4.06	24.31
23b. House wrap (air/moisture barrier)	675.00 SF		0.00	0.27	8.35	38.14	228.74
Totals: Left Elevation					208.83	1,399.92	8,399.25

**Rear Elevation**

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
225. Wood fence 5' - 6' high - Detach & reset - per 8' section	1.00 EA		0.00	69.11	0.18	13.86	83.15
To disconnect and replace 6ft high wood fence from structure to replace brick siding.							
33a. Remove Brick veneer	439.00 SF		1.75	0.00	0.00	153.66	921.91
33b. Brick veneer	439.00 SF		0.00	8.01	130.38	729.36	4,376.13
34a. Remove House wrap (air/moisture barrier)	439.00 SF		0.03	0.00	0.00	2.64	15.81
34b. House wrap (air/moisture barrier)	439.00 SF		0.00	0.27	5.43	24.78	148.74
35a. Remove Jamb and trim for overhead door unit	LF		0.75	0.00	0.00	0.00	0.00
35b. Jamb and trim for overhead door unit	LF		0.00	5.32	0.00	0.00	0.00
37. Detach & Reset Overhead door & hardware - 18' x 7'	1.00 EA	261.79	0.00	0.00	0.00	52.36	314.15
Totals: Rear Elevation					135.99	976.66	5,859.89

**Right Elevation**

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### CONTINUED - Right Elevation

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
42. Central air - condenser unit - Detach & reset	1.00 EA		0.00	494.68	0.00	98.94	593.62
43. Wood fence 5' - 6' high - Detach & reset - per 8' section	2.00 EA		0.00	69.11	0.35	27.72	166.29
To disconnect and replace 6ft high wood fence from structure to replace brick siding.. 2 locations							
198a. Remove Brick veneer	1,267.36 SF		1.75	0.00	0.00	443.58	2,661.46
198b. Brick veneer	1,267.36 SF		0.00	8.01	376.41	2,105.60	12,633.56
199a. Remove House wrap (air/moisture barrier)	1,267.36 SF		0.03	0.00	0.00	7.60	45.62
199b. House wrap (air/moisture barrier)	1,267.36 SF		0.00	0.27	15.68	71.58	429.45
226. Swimming Pool - Labor Minimum	1.00 EA		0.00	248.75	0.00	49.76	298.51
to detach and reset pool equipment as needed for brick replacement							
Totals: Right Elevation					392.44	2,804.78	16,828.51
Total: Exterior					<b>1,222.70</b>	<b>7,922.42</b>	<b>47,533.78</b>

### Main Level



#### Dwelling footprint

Height: 8'

3,077.25 SF Walls	3,339.00 SF Ceiling
6,416.25 SF Walls & Ceiling	3,339.00 SF Floor
371.00 SY Flooring	384.66 LF Floor Perimeter
384.66 LF Ceil. Perimeter	

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
221a. Remove Trim board - 1" x 4" - installed (pine)	384.66 LF		0.31	0.00	0.00	23.84	143.08
221b. Trim board - 1" x 4" - installed (pine)	384.66 LF		0.00	2.71	43.16	217.12	1,302.71
To replace the freeze board on exterior perimeter							
222. Seal & paint trim - two coats	384.66 LF		0.00	0.95	3.17	73.72	442.32
229. Mask the surface area per square foot - plastic and tape - 4 mil	112.00 SF		0.00	0.17	0.46	3.90	23.40
To mask the overhead door							
230a. Remove Brick - structural (Giant brick), 4"	120.00 SF		1.62	0.00	0.00	38.88	233.28

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**CONTINUED - Dwelling footprint**

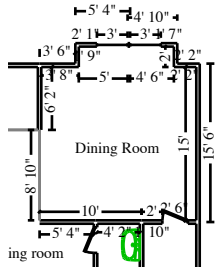
DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
230b. Brick - structural (Giant brick), 4"	120.00 SF		0.00	7.54	43.26	189.62	1,137.68
TO REPLACE BRICK FENCE TO MATCH BUILDING AT FRON RIGHT							
Totals: Dwelling footprint					90.05	547.08	3,282.47
Total: Main Level					<b>90.05</b>	<b>547.08</b>	<b>3,282.47</b>

**interior****Contents**

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
92. Contents - move out then reset	128.00 EA		0.00	42.97	0.00	1,100.04	6,600.20
105. Contents Evaluation and/or Supervisor/Admin - per hour	32.00 HR		0.00	43.40	137.50	277.76	1,804.06
95. Fine art - storage and insurance	1.00 EA		0.00	2,000.00	0.00	400.00	2,400.00
96. Provide box, packing paper & tape - medium size	15.00 EA		0.00	3.21	8.75	10.36	67.26
97. Provide box, packing paper & tape - large size	15.00 EA		0.00	4.15	11.48	13.42	87.15
98. Evaluate pack & inventory bric-a-brac - per Med box	15.00 EA		0.00	11.14	20.54	34.14	221.78
99. Evaluate pack & inventory bric-a-brac - per Lg box	15.00 EA		0.00	14.17	26.36	43.48	282.39
101. Evaluate pack & inventory bric-a-brac - per Sml box	25.00 EA		0.00	9.03	27.32	46.06	299.13
102. Provide picture-frame box, packing paper & tape	25.00 EA		0.00	4.92	23.03	26.58	172.61
103. Bubble Wrap - Add-on cost for fragile items	300.00 LF		0.00	0.19	10.81	12.34	80.15
104. Provide TV box, packing paper & tape	1.00 EA		0.00	14.24	2.69	3.08	20.01
106. Provide furniture heavyweight blanket/pad	40.00 EA		0.00	10.91	82.76	94.48	613.64
208. Moving van (24' - 27') and equipment - per day	4.00 EA		0.00	163.59	64.78	130.88	850.02
To move house contents to off site storage and return. Due to dwelling being in Home owners Assn it is not possible to use on site storage containers							
209. Off site storage allowance	1.00 MO		0.00	500.00	41.25	108.26	649.51
For off site storage due to dwelling being in Home owners Assn it is not possible to use on site storage containers							
Totals: Contents					457.27	2,300.88	14,147.91

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### Dining Room

Height: 8'

445.22 SF Walls	247.59 SF Ceiling
692.81 SF Walls & Ceiling	247.59 SF Floor
27.51 SY Flooring	55.65 LF Floor Perimeter
55.65 LF Ceil. Perimeter	

### Missing Wall

8' 10 3/16" X 8'

Opens into FAMILY\_DININ

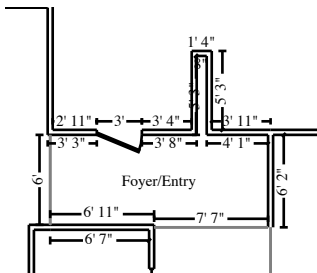
DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
55. Carpenter - General Framer - per hour	32.00 HR		0.00	65.94	0.00	422.02	2,532.10
TO REPAIR AND REFRAME WALL AND CEILING DAMAGE AT SITE OF CRASH							
56a. Remove Wood window - picture (fixed), 12-23 sf	2.00 EA		26.08	0.00	0.00	10.44	62.60
56b. Wood window - picture (fixed), 12-23 sf	2.00 EA		0.00	483.89	70.49	207.66	1,245.93
193a. Remove Window sill	6.00 LF		0.54	0.00	0.00	0.64	3.88
193b. Window sill	6.00 LF		0.00	2.26	0.39	2.80	16.75
57. Add on for impact resistant laminated glass	45.00 SF		0.00	5.86	21.76	57.10	342.56
58a. Remove Batt insulation - 4" - R11- unfaced batt	117.00 SF		0.18	0.00	0.00	4.22	25.28
58b. Batt insulation - 4" - R11- unfaced batt	117.00 SF		0.00	0.48	2.70	11.78	70.64
59a. Remove 1/2" drywall - hung, taped, floated, ready for paint	124.00 SF		0.32	0.00	0.00	7.94	47.62
59b. 1/2" drywall - hung, taped, floated, ready for paint	124.00 SF		0.00	1.88	4.40	47.50	285.02
81. Texture drywall - smooth / skim coat	692.81 SF		0.00	1.04	4.57	145.02	870.11
Ceiling has machine texture. This needs to be floated to a smooth finish before re-textureing to ensure a consistant finish throughout. A patch will always show up as a patch.							
61. Texture drywall - machine	692.81 SF		0.00	0.38	1.71	53.00	317.98
63. Seal the walls and ceiling w/latex based stain blocker - one coat	692.81 SF		0.00	0.44	4.00	61.76	370.60
64. Paint the walls and ceiling - two coats	692.81 SF		0.00	0.66	10.86	93.64	561.75
234. Paint crown molding - two coats	55.65 LF		0.00	0.99	0.50	11.12	66.71
194. Seal & paint window sill	12.00 LF		0.00	1.72	0.22	4.16	25.02
85a. Remove Oak flooring - select grade - no finish	247.59 SF		1.81	0.00	0.00	89.62	537.76
85b. Oak flooring - select grade - no finish	247.59 SF		0.00	7.59	98.25	395.50	2,372.96

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## CONTINUED - Dining Room

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
223a. Add for glued down application over concrete substrate	247.59 SF		1.16	0.00	0.00	57.44	344.64
223b. Add for glued down application over concrete substrate	247.59 SF		0.00	1.03	17.98	54.60	327.60
87. Sand, stain, and finish wood floor	247.59 SF		0.00	3.73	17.77	188.26	1,129.54
88. Add for dustless floor sanding	247.59 SF		0.00	1.00	0.00	49.52	297.11
89. Additional coats of finish (per coat)	495.18 SF		0.00	0.86	8.58	86.90	521.33
65. Detach & Reset Baseboard - 3 1/4" MDF w/profile	55.65 LF	1.92	0.00	0.00	0.09	21.40	128.34
66. Paint baseboard - two coats	55.65 LF		0.00	0.96	0.50	10.78	64.70
231a. Remove Shutters - wood - louvered or paneled - Large	2.00 EA		4.82	0.00	0.00	1.92	11.56
231b. Shutters - wood - louvered or paneled - Large	2.00 EA		0.00	323.25	43.23	137.94	827.67
232a. Remove Interior door - birch - stain grade jamb & casing	1.00 EA		14.43	0.00	0.00	2.88	17.31
232b. Interior door - birch - stain grade jamb & casing	1.00 EA		0.00	196.26	12.85	41.84	250.95
233. Paint casing - two coats	34.00 LF		0.00	0.96	0.31	6.58	39.53
Totals: Dining Room					321.16	2,285.98	13,715.55



## Foyer/Entry

Height: 8'

305.89 SF Walls	91.56 SF Ceiling
397.44 SF Walls & Ceiling	91.56 SF Floor
10.17 SY Flooring	38.24 LF Floor Perimeter
38.24 LF Ceil. Perimeter	

Missing Wall

5' 11 13/16" X 8'

Opens into LIVING\_ROOM

Missing Wall

7' 7" X 8'

Opens into FAMILY\_DININ

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
69. Floor protection - heavy paper and tape	91.56 SF		0.00	0.29	0.30	5.38	32.23
70. Mask more than the floor perimeter per square foot - plastic and tape - 4 mil	344.12 SF		0.00	0.17	1.42	11.98	71.90
71. Texture drywall - smooth / skim coat	397.44 SF		0.00	1.04	2.62	83.18	499.14

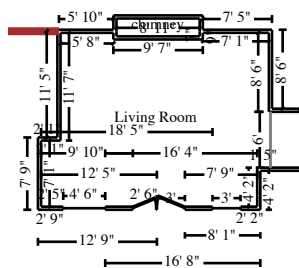


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Texas 75165

### CONTINUED - Foyer/Entry

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
Ceiling has machine texture. This needs to be floated to a smooth finish before re-texturing to ensure a consistant finish throughout. A patch will always show up as a patch.							
72. Texture drywall - machine	397.44 SF		0.00	0.38	0.98	30.40	182.41
73. Seal the walls and ceiling w/latex based stain blocker - one coat	397.44 SF		0.00	0.44	2.30	35.44	212.61
74. Paint the walls and ceiling - two coats	397.44 SF		0.00	0.66	6.23	53.70	322.24
75. Mask and cover light fixture	5.00 EA		0.00	9.41	0.26	9.48	56.79
76. Detach & Reset Heat/AC register - Mechanically attached	1.00 EA	12.24	0.00	0.00	0.00	2.44	14.68
77. Detach & Reset Crown molding - 5 1/4"	38.24 LF	2.58	0.00	0.00	0.06	19.76	118.48
78. Paint crown molding - two coats	38.24 LF		0.00	0.99	0.35	7.66	45.87
195a. Remove 1/2" drywall - hung, taped, floated, ready for paint	64.00 SF		0.32	0.00	0.00	4.10	24.58
195b. 1/2" drywall - hung, taped, floated, ready for paint	64.00 SF		0.00	1.88	2.27	24.52	147.11
To replace drywall on dividing wall at foyer that is knocked 1 inch out of vertical							
Totals: Foyer/Entry					16.79	288.04	1,728.04



### Living Room

Height: 8'

653.63 SF Walls	419.77 SF Ceiling
1,073.41 SF Walls & Ceiling	419.77 SF Floor
46.64 SY Flooring	81.70 LF Floor Perimeter
81.70 LF Ceil. Perimeter	

### Missing Wall

5' 11 13/16" X 8'

Opens into FOYER\_ENTRY

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
9. Floor protection - heavy paper and tape	419.77 SF		0.00	0.29	1.39	24.62	147.74
18. Texture drywall - smooth / skim coat	1,073.41 SF		0.00	1.04	7.08	224.70	1,348.13
Ceiling has machine texture. This needs to be floated to a smooth finish before re-texturing to ensure a consistant finish throughout. A patch will always show up as a patch.							
67. Seal the walls and ceiling w/latex based stain blocker - one coat	1,073.41 SF		0.00	0.44	6.20	95.70	574.20
12. Paint the walls and ceiling - two coats	1,073.41 SF		0.00	0.66	16.83	145.06	870.34

Continuous paint from foyer

CALLAWAY\_

11/3/2016

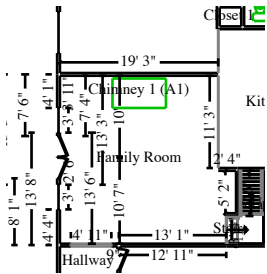
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Texas 75165

### CONTINUED - Living Room

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
8. Texture drywall - machine	1,073.41 SF		0.00	0.38	2.66	82.12	492.68
237. Paint crown molding - two coats	81.70 LF		0.00	0.99	0.74	16.32	97.94
Totals: Living Room					34.90	588.52	3,531.03



### Family Room

Height: 8'

514.56 SF Walls	407.84 SF Ceiling
922.40 SF Walls & Ceiling	407.84 SF Floor
45.32 SY Flooring	63.50 LF Floor Perimeter
71.78 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

4' 11" X 6' 8"

Opens into HALLWAY

Missing Wall

3' 4 3/8" X 8'

Opens into STAIRS

Missing Wall

11' 2 5/8" X 8'

Opens into KITCHEN

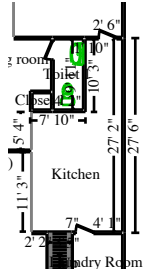
DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
108. Floor protection - heavy paper and tape	407.84 SF		0.00	0.29	1.35	23.94	143.56
109. Mask more than the floor perimeter per square foot - plastic and tape - 4 mil	571.51 SF		0.00	0.17	2.36	19.92	119.44
192. Detach & Reset Ceiling fan & light - High grade	1.00 EA	157.84	0.00	0.00	0.00	31.56	189.40
115. Detach & Reset Heat/AC register - Mechanically attached	1.00 EA	12.24	0.00	0.00	0.00	2.44	14.68
114. Mask and cover light fixture	4.00 EA		0.00	9.41	0.21	7.56	45.41
110. Texture drywall - smooth / skim coat	922.40 SF		0.00	1.04	6.09	193.08	1,158.47
Ceiling has machine texture. This needs to be floated to a smooth finish before re-texturing to ensure a consistent finish throughout. A patch will always show up as a patch.							
111. Texture drywall - machine	922.40 SF		0.00	0.38	2.28	70.56	423.35
112. Seal the walls and ceiling w/latex based stain blocker - one coat	922.40 SF		0.00	0.44	5.33	82.24	493.43
113. Paint the walls and ceiling - two coats	922.40 SF		0.00	0.66	14.46	124.66	747.90
Paint is continuous from adjoining rooms							
116. Detach & Reset Crown molding - 5 1/4"	71.78 LF	2.58	0.00	0.00	0.12	37.06	222.37
117. Paint crown molding - two coats	71.78 LF		0.00	0.99	0.65	14.36	86.07

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### CONTINUED - Family Room

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
Totals: Family Room					32.85	607.38	3,644.08



#### Kitchen

Height: 8'

505.76 SF Walls	269.91 SF Ceiling
775.66 SF Walls & Ceiling	269.91 SF Floor
29.99 SY Flooring	63.22 LF Floor Perimeter
63.22 LF Ceil. Perimeter	

#### Missing Wall

5' 4" X 8'

Opens into FAMILY\_DININ

#### Missing Wall

11' 2 5/8" X 8'

Opens into FAMILY\_ROOM

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
119. Floor protection - heavy paper and tape	269.91 SF		0.00	0.29	0.89	15.84	95.00
120. Mask more than the floor perimeter per square foot - plastic and tape - 4 mil	568.98 SF		0.00	0.17	2.35	19.82	118.90
121. Texture drywall - smooth / skim coat	775.66 SF		0.00	1.04	5.12	162.36	974.17
Ceiling has machine texture. This needs to be floated to a smooth finish before re-texturing to ensure a consistent finish throughout. A patch will always show up as a patch.							
122. Texture drywall - machine	775.66 SF		0.00	0.38	1.92	59.34	356.01
123. Seal the walls and ceiling w/latex based stain blocker - one coat	775.66 SF		0.00	0.44	4.48	69.16	414.93
124. Paint the walls and ceiling - two coats	775.66 SF		0.00	0.66	12.16	104.82	628.92
Note ceiling is continuous from family room and foyer							
125. Mask and cover light fixture	8.00 EA		0.00	9.41	0.42	15.14	90.84
126. Detach & Reset Heat/AC register - Mechanically attached	2.00 EA	12.24	0.00	0.00	0.00	4.90	29.38
127. Detach & Reset Crown molding - 5 1/4"	63.22 LF	2.58	0.00	0.00	0.10	32.64	195.85
Crown moulding is separated in the kitchen from the ceiling due to accident impact							
128. Paint crown molding - two coats	63.22 LF		0.00	0.99	0.57	12.64	75.80
140a. Remove 1/2" drywall - hung, taped, floated, ready for paint	64.00 SF		0.32	0.00	0.00	4.10	24.58
140b. 1/2" drywall - hung, taped, floated, ready for paint	64.00 SF		0.00	1.88	2.27	24.52	147.11
141a. Remove Wallpaper	144.00 SF		0.70	0.00	0.00	20.16	120.96
141b. Wallpaper	144.00 SF		0.00	2.05	12.12	61.46	368.78

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**CONTINUED - Kitchen**

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
144. Prep wall for wallpaper	144.00 SF		0.00	0.47	0.00	13.54	81.22
145a. Remove Wallpaper border - Premium grade	20.00 LF		0.59	0.00	0.00	2.36	14.16
145b. Wallpaper border - Premium grade	20.00 LF		0.00	3.62	4.19	15.32	91.91
Totals: Kitchen					46.59	638.12	3,828.52

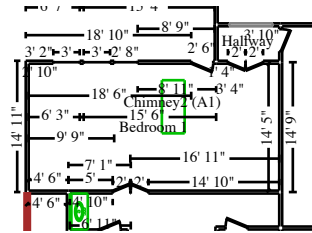
**Laundry Room****Height: 8'**

253.83 SF Walls	62.05 SF Ceiling
315.89 SF Walls & Ceiling	62.05 SF Floor
6.89 SY Flooring	31.73 LF Floor Perimeter
31.73 LF Ceil. Perimeter	

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
130. Floor protection - heavy paper and tape	62.05 SF		0.00	0.29	0.20	3.64	21.83
131. Mask more than the floor perimeter per square foot - plastic and tape - 4 mil	285.56 SF		0.00	0.17	1.18	9.96	59.69
132. Texture drywall - smooth / skim coat	315.89 SF		0.00	1.04	2.08	66.12	396.73
Ceiling has machine texture. This needs to be floated to a smooth finish before re-texturing to ensure a consistent finish throughout. A patch will always show up as a patch.							
133. Texture drywall - machine	315.89 SF		0.00	0.38	0.78	24.16	144.98
134. Seal the walls and ceiling w/latex based stain blocker - one coat	315.89 SF		0.00	0.44	1.82	28.16	168.97
135. Paint the walls and ceiling - two coats	315.89 SF		0.00	0.66	4.95	42.70	256.14
Note ceiling is continuous from family room and foyer							
136. Mask and cover light fixture	2.00 EA		0.00	9.41	0.10	3.78	22.70
137. Detach & Reset Heat/AC register - Mechanically attached	1.00 EA	12.24	0.00	0.00	0.00	2.44	14.68
138. Detach & Reset Crown molding - 5 1/4"	31.73 LF	2.58	0.00	0.00	0.05	16.40	98.31
139. Paint crown molding - two coats	31.73 LF		0.00	0.99	0.29	6.34	38.04
Totals: Laundry Room					11.45	203.70	1,222.07

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Texas 75165



### Bedroom 1

Height: 8'

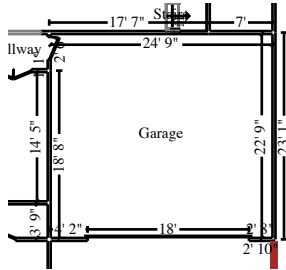
686.11 SF Walls  
1,096.47 SF Walls & Ceiling  
45.60 SY Flooring  
85.76 LF Ceil. Perimeter

410.36 SF Ceiling  
410.36 SF Floor  
85.76 LF Floor Perimeter

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
156. Floor protection - heavy paper and tape	410.36 SF		0.00	0.29	1.35	24.08	144.43
190. Detach & Reset Ceiling fan & light - High grade	1.00 EA	157.84	0.00	0.00	0.00	31.56	189.40
157. Mask more than the floor perimeter per square foot - plastic and tape - 4 mil	771.87 SF		0.00	0.17	3.18	26.88	161.28
158. Texture drywall - smooth / skim coat	1,096.47 SF		0.00	1.04	7.24	229.50	1,377.07
Ceiling has machine texture. This needs to be floated to a smooth finish before re-texturing to ensure a consistent finish throughout. A patch will always show up as a patch.							
159. Texture drywall - machine	1,096.47 SF		0.00	0.38	2.71	83.88	503.25
160. Seal the walls and ceiling w/latex based stain blocker - one coat	1,096.47 SF		0.00	0.44	6.33	97.76	586.54
161. Paint the walls and ceiling - two coats	1,096.47 SF		0.00	0.66	17.19	148.18	889.04
Note ceiling is continuous from family room and foyer							
162. Mask and cover light fixture	8.00 EA		0.00	9.41	0.42	15.14	90.84
163. Detach & Reset Heat/AC register - Mechanically attached	2.00 EA	12.24	0.00	0.00	0.00	4.90	29.38
164. Detach & Reset Crown molding - 5 1/4"	85.76 LF	2.58	0.00	0.00	0.14	44.28	265.68
Crown is separating from the wall and ceiling from the accident impact							
165. Paint crown molding - two coats	85.76 LF		0.00	0.99	0.78	17.14	102.82
187a. Remove Mirror - 1/4" plate glass	198.00 SF		0.22	0.00	0.00	8.72	52.28
187b. Mirror - 1/4" plate glass	198.00 SF		0.00	11.44	128.39	478.70	2,872.21
Totals: Bedroom 1					167.73	1,210.72	7,264.22

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3379 Howard Rd  
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Texas 75165



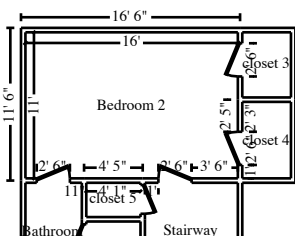
### Garage

Height: 8'

759.99 SF Walls	563.04 SF Ceiling
1,323.03 SF Walls & Ceiling	563.04 SF Floor
62.56 SY Flooring	95.00 LF Floor Perimeter
95.00 LF Ceil. Perimeter	

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
166. Floor protection - heavy paper and tape	563.04 SF		0.00	0.29	1.86	33.04	198.18
168. Texture drywall - smooth / skim coat	1,323.03 SF		0.00	1.04	8.73	276.94	1,661.62
Ceiling has machine texture. This needs to be floated to a smooth finish before re-texturing to ensure a consistent finish throughout. A patch will always show up as a patch.							
169. Texture drywall - machine	1,323.03 SF		0.00	0.38	3.27	101.22	607.24
170. Seal the walls and ceiling w/latex based stain blocker - one coat	1,323.03 SF		0.00	0.44	7.64	117.94	707.71
171. Paint the walls and ceiling - two coats	1,323.03 SF		0.00	0.66	20.74	178.78	1,072.72
Note ceiling is continuous from family room and foyer							
172. Mask and cover light fixture	2.00 EA		0.00	9.41	0.10	3.78	22.70
Totals: Garage					42.34	711.70	4,270.17
Total: interior					1,131.08	8,835.04	53,351.59

### 2nd floor



### Bedroom 2

Height: 8'

431.99 SF Walls	175.99 SF Ceiling
607.99 SF Walls & Ceiling	175.99 SF Floor
19.55 SY Flooring	54.00 LF Floor Perimeter
54.00 LF Ceil. Perimeter	

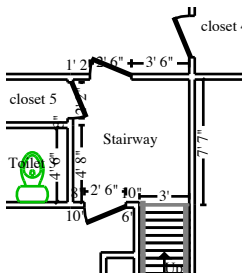
DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
210. Floor protection - heavy paper and tape	175.99 SF		0.00	0.29	0.58	10.32	61.94
219a. Remove 1/2" drywall - hung, taped, ready for texture	32.00 SF		0.32	0.00	0.00	2.04	12.28
219b. 1/2" drywall - hung, taped, ready for texture	32.00 SF		0.00	1.64	1.11	10.72	64.31

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## CONTINUED - Bedroom 2

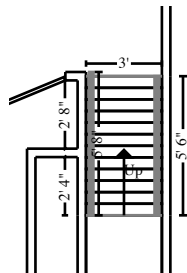
DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
211. Texture drywall - smooth / skim coat	175.99 SF		0.00	1.04	1.16	36.84	221.03
Ceiling has machine texture. This needs to be floated to a smooth finish before re-texturing to ensure a consistant finish throughout. A patch will always show up as a patch.							
212. Texture drywall - machine	175.99 SF		0.00	0.38	0.44	13.46	80.78
213. Seal the ceiling w/latex based stain blocker - one coat	175.99 SF		0.00	0.44	1.02	15.68	94.14
214. Paint the walls and ceiling - two coats	607.99 SF		0.00	0.66	9.53	82.16	492.96
Note ceiling is continuous from family room and foyer							
215. Mask and cover light fixture	5.00 EA		0.00	9.41	0.26	9.48	56.79
216. Detach & Reset Heat/AC register - Mechanically attached	1.00 EA	12.24	0.00	0.00	0.00	2.44	14.68
217. Detach & Reset Crown molding - 5 1/4"	54.00 LF	2.58	0.00	0.00	0.09	27.88	167.29
218. Paint crown molding - two coats	54.00 LF		0.00	0.99	0.49	10.80	64.75
Totals: Bedroom 2					14.68	221.82	1,330.95



### Stairway

Height: 8'

207.51 SF Walls	52.20 SF Ceiling
259.71 SF Walls & Ceiling	52.20 SF Floor
5.80 SY Flooring	25.94 LF Floor Perimeter
25.94 LF Ceil. Perimeter	



### Subroom: Stairs2 (1)

Height: 12' 6"

114.14 SF Walls	16.50 SF Ceiling
130.64 SF Walls & Ceiling	31.50 SF Floor
3.50 SY Flooring	13.99 LF Floor Perimeter
11.17 LF Ceil. Perimeter	

Missing Wall

3' X 12' 6"

Opens into LANDING

Missing Wall

3' X 12' 6"

Opens into STAIRWAY

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
176. Floor protection - heavy paper and tape	83.70 SF		0.00	0.29	0.28	4.92	29.47

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### CONTINUED - Stairway

DESCRIPTION	QTY	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
178. Texture drywall - smooth / skim coat	68.70 SF		0.00	1.04	0.45	14.40	86.30
Ceiling has machine texture. This needs to be floated to a smooth finish before re-texturing to ensure a consistent finish throughout. A patch will always show up as a patch.							
179. Texture drywall - machine	68.70 SF		0.00	0.38	0.17	5.26	31.54
180. Seal the ceiling w/latex based stain blocker - one coat	68.70 SF		0.00	0.44	0.40	6.12	36.75
181. Paint the walls and ceiling - two coats	390.36 SF		0.00	0.66	6.12	52.74	316.50
Note ceiling is continuous from family room and foyer							
182. Mask and cover light fixture	5.00 EA		0.00	9.41	0.26	9.48	56.79
183. Detach & Reset Heat/AC register - Mechanically attached	1.00 EA	12.24	0.00	0.00	0.00	2.44	14.68
184. Detach & Reset Crown molding - 5 1/4"	37.11 LF	2.58	0.00	0.00	0.06	19.16	114.96
185. Paint crown molding - two coats	37.11 LF		0.00	0.99	0.34	7.40	44.48
Totals: Stairway					8.08	121.92	731.47
Total: 2nd floor					22.76	343.74	2,062.42
Line Item Totals: CALLAWAY_					4,201.15	19,629.22	140,848.35

### Grand Total Areas:

12,056.14 SF Walls	7,098.30 SF Ceiling	19,154.44 SF Walls and Ceiling
7,143.73 SF Floor	793.75 SY Flooring	1,497.17 LF Floor Perimeter
0.00 SF Long Wall	0.00 SF Short Wall	1,500.54 LF Ceil. Perimeter
7,143.73 Floor Area	7,497.00 Total Area	11,299.10 Interior Wall Area
7,806.21 Exterior Wall Area	867.36 Exterior Perimeter of Walls	
0.00 Surface Area	0.00 Number of Squares	0.00 Total Perimeter Length
0.00 Total Ridge Length	0.00 Total Hip Length	



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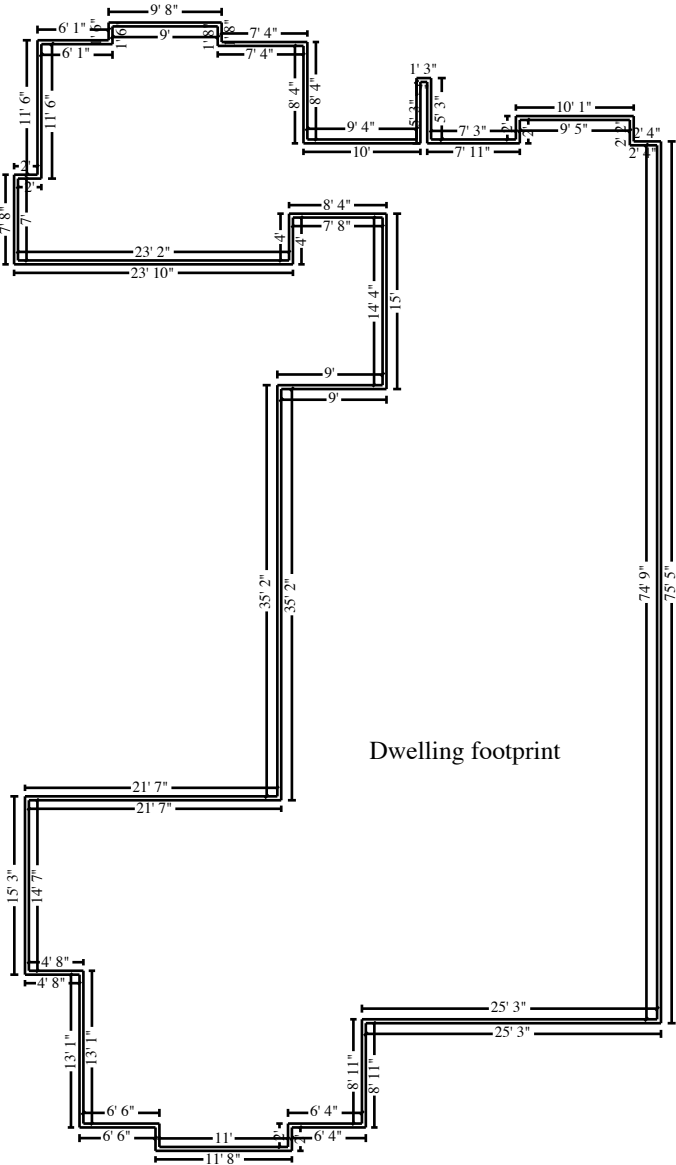
Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

### Summary for Dwelling

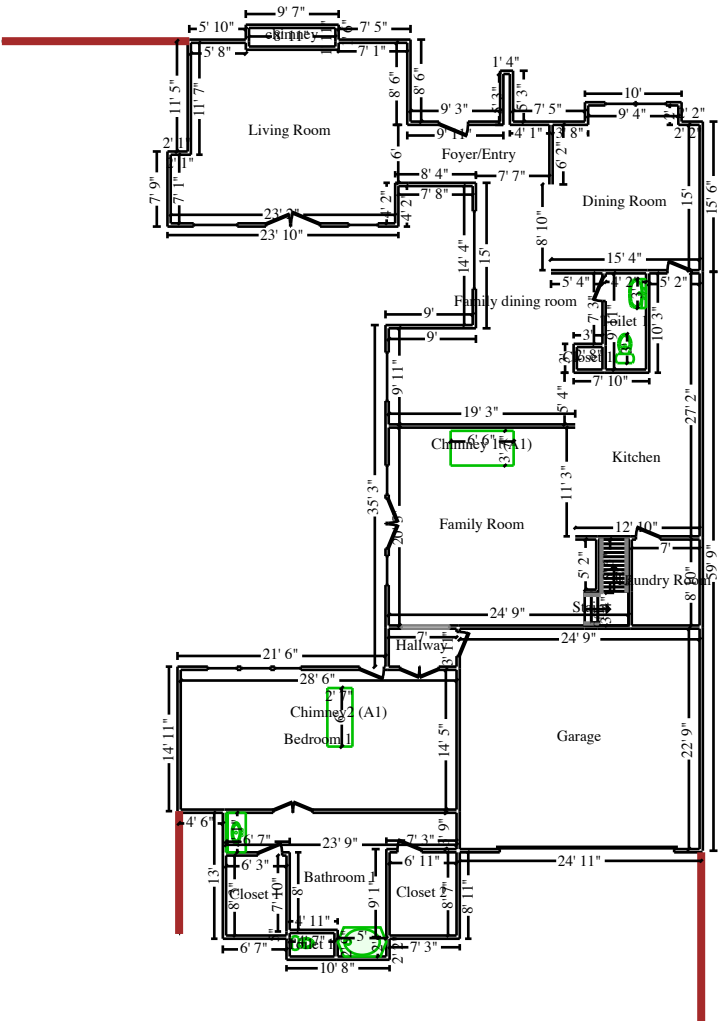
Line Item Total	117,017.98
Material Sales Tax	3,743.88
Cleaning Mtl Tax	73.21
Storage Rental Tax	41.25
	<hr/>
Subtotal	120,876.32
Overhead	9,814.61
Profit	9,814.61
Cleaning Sales Tax	342.81
	<hr/>
<b>Replacement Cost Value</b>	<b>\$140,848.35</b>
<b>Net Claim</b>	<b>\$140,848.35</b>
	<hr/> <hr/>

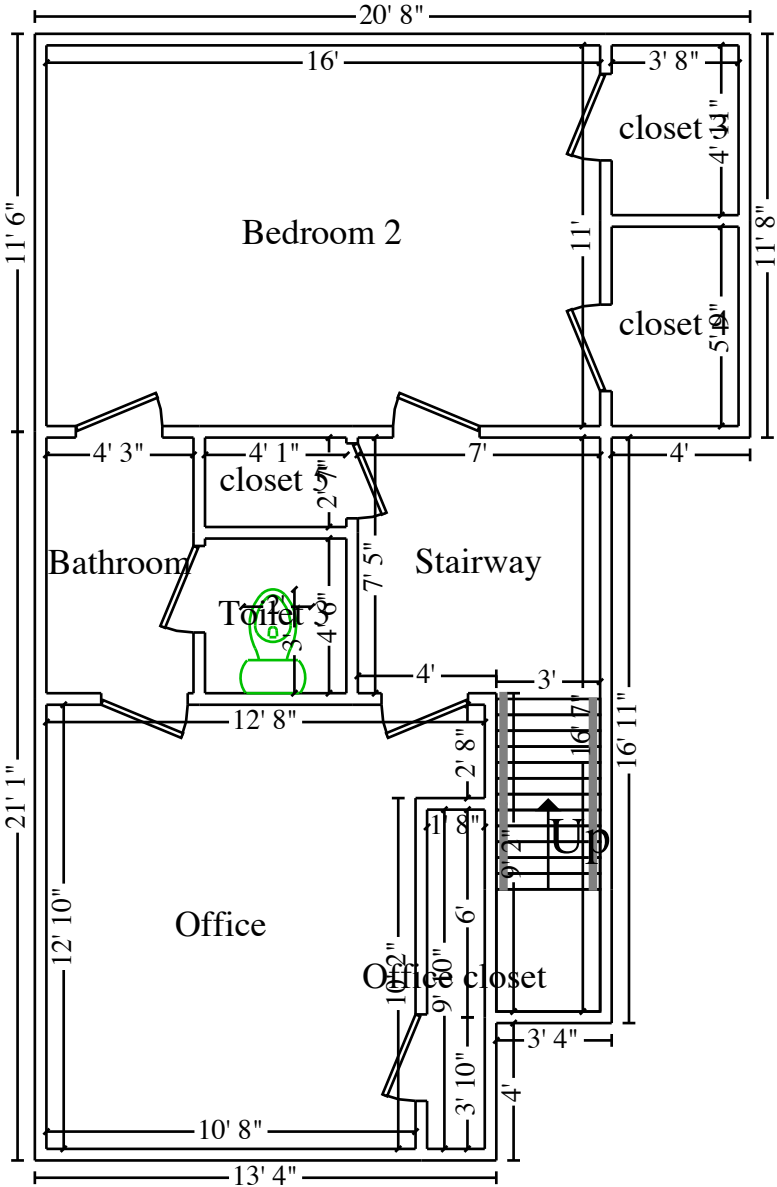
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Tony Sherriff



Main Level





2nd floor

## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

1 1-ADDRESS

Date Taken: 8/14/2012

Taken By: ROBERT SMITH



2 2-FRONT

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

3 3-2 CRUSHED MAIL BOXES

Date Taken: 8/14/2012

Taken By: Tony Sherriff



4 4-CRUSHED MAIL BOXES

Date Taken: 8/14/2012

Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

5 5-GARDEN AT CRASH SITE

Date Taken: 8/14/2012

Taken By: Tony Sherriff



6 6-IMPACT SITE FRONT LET OF BUILDING

Date Taken: 8/14/2012

Taken By: Tony Sherriff





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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 7 7-IMPACT SITE /front entry  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 8 8-BOARDED UP DOUBLE  
WINDOWS IMPACT SITE  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff





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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

9 9-BRICK SIDING FROM  
IMPACT

Date Taken: 8/14/2012

Taken By: Tony Sherriff



10 10-GARDEN WITH SPRINKLER  
HEAD AT CRASH SITE

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
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Waxahachie  
Texas 75165

### 11 11-CRACKS AT BRICK SIDING

Date Taken: 8/14/2012

Taken By: Tony Sherriff



### 12 12-BRICK CRACKS AT INPACT SITE

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

13 13-CHIMNEY FRONT RIGHT

Date Taken: 8/14/2012

Taken By: Tony Sherriff



14 15-HOA SIGN AT REAR

Date Taken: 8/14/2012

Taken By: Tony Sherriff



**Professional Public Adjusters, LLC**

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

15 16-RIGHT SIDE FROM REAR

Date Taken: 8/14/2012

Taken By: Tony Sherriff



16 17-RIGHT SIDE . LIVING  
ROOM ENTRY AT LEFT

Date Taken: 8/14/2012

Taken By: Tony Sherriff





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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

17 18-RIGHT SIDE AT POOL

Date Taken: 8/14/2012

Taken By: Tony Sherriff



18 19-RIGHT SIDE LOOKING TO  
REAR

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

19 20-RIGHT SIDE LOOKING TO  
REAR

Date Taken: 8/14/2012

Taken By: Tony Sherriff



20 21-LEFT REAR CORNER

Date Taken: 8/14/2012

Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

21 22-POOL EQUIPMENT RIGHT  
REAR CORNER

Date Taken: 8/14/2012

Taken By: Tony Sherriff



22 23-REAR BRICK SIDING

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

23 24-CRACKS IN BRICK WORK  
LEFT SIDE

Date Taken: 8/14/2012

Taken By: Tony Sherriff



24 25-CRACKS IN THE BRICK  
CRACKING AT LEFT SIDE

Date Taken: 8/14/2012

Taken By: Tony Sherriff





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---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

25 26-CRACKS IN THE BRICK  
WORK LEFT SIDE

Date Taken: 8/14/2012

Taken By: Tony Sherriff



26 28-DINING ROOM BROKEN  
WINDOWS AT CRASH SITE

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
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Waxahachie  
Texas 75165

27 29-WINDOW SHUTTERS AT  
CRASH SITE

Date Taken: 8/14/2012

Taken By: Tony Sherriff



28 30-BROKEN WINDOW SILL AT  
CRASH SITE

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
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Waxahachie  
Texas 75165

29 31-DINING ROOM OVER VIEW  
SHOWING DAMAGED WALL

Date Taken: 8/14/2012

Taken By: Tony Sherriff



30 32-DINING ROOM OV

Date Taken: 8/14/2012

Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 31 33-DINING ROOM OV  
LOOKING TO FRONT DOOR  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 32 34-SEPARATING BASE BD IN  
DINING ROOM FROM IMPAC  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



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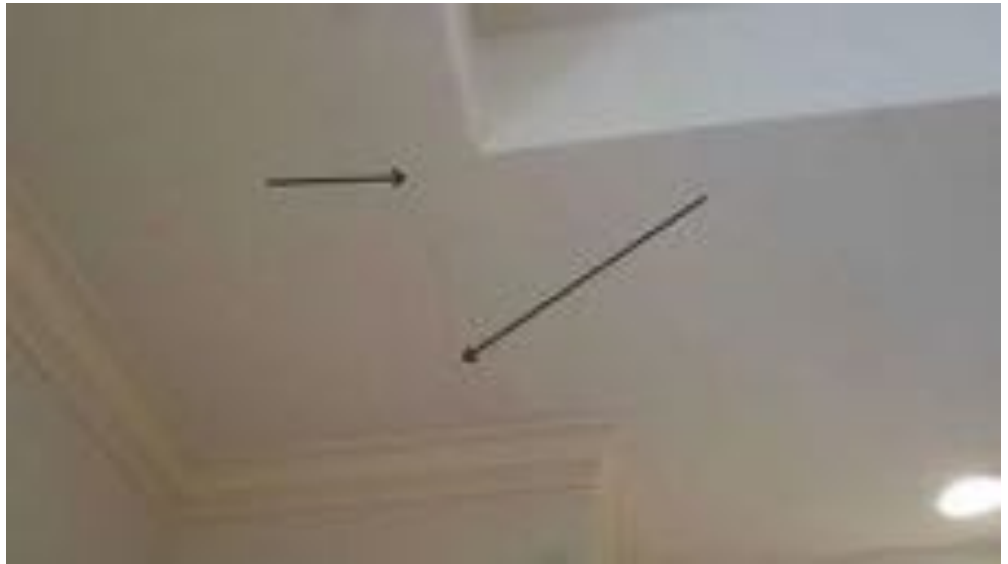
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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

33 35-CEILING CRACKS FROM  
IMPACT

Date Taken: 8/14/2012

Taken By: Tony Sherriff



34 36-WALL CRACKS FROM  
IMPACT DINING ROOM

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

35 37-DINING ROOM TO  
KITCHEN DOOR

Date Taken: 8/14/2012

Taken By: Tony Sherriff



36 38-DOOR CASING SEPARATED  
FROM IMPACT DINING

Date Taken: 8/14/2012

Taken By: Tony Sherriff





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Tony Sherriff  
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Waxahachie  
Texas 75165

37 40-KITCHEN OVER VIEW

Date Taken: 8/14/2012

Taken By: Tony Sherriff



38 41-KITCHEN LOOKING TO  
DINING ROOM

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

39 42-CEILING CRACKS AND  
CROWN SEPARATION

Date Taken: 8/14/2012

Taken By: Tony Sherriff



40 43-KITCHEN CROWN AND  
WALL PAPER

Date Taken: 8/14/2012

Taken By: Tony Sherriff





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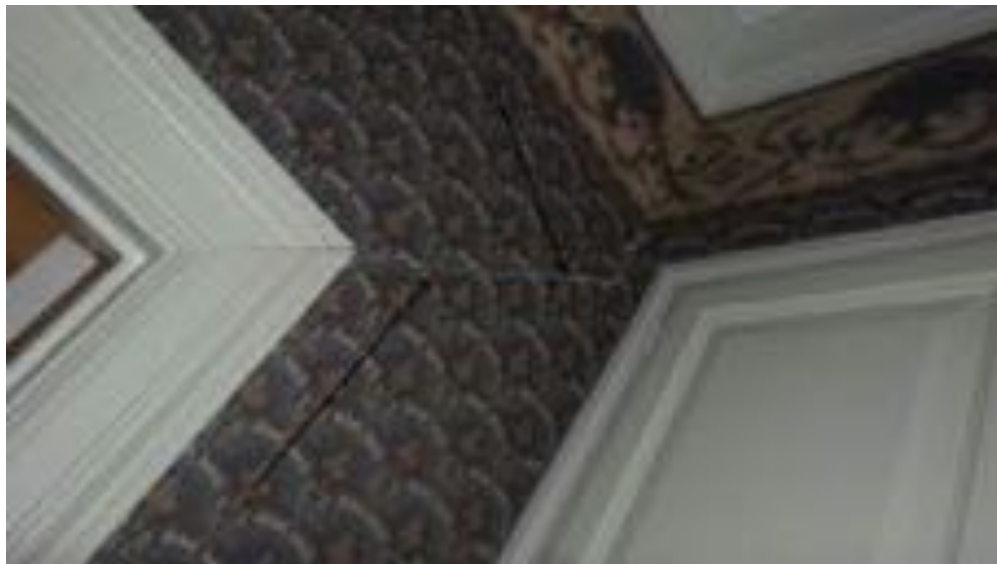
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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

41 44-DRYWALL CRACKS AT  
KITCHEN/DINING DOOR

Date Taken: 8/14/2012

Taken By: Tony Sherriff



42 45-SEPARATED DOOR CASING  
TO DINING ROOM

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 43 46-CEILING CRACK AT  
KITCHEN SKYLIGHT  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 44 47-DRYWALL CRACKS AT  
KITCHEN  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

45 49-LAUNDRY OVER VIEW

Date Taken: 8/14/2012

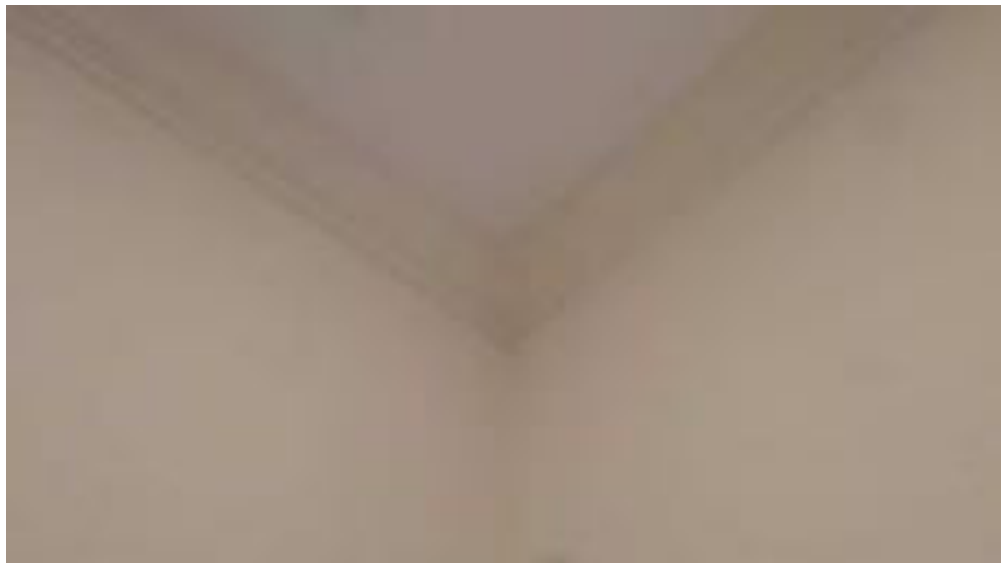
Taken By: Tony Sherriff



46 50-LAUNDRY CROWN

Date Taken: 8/14/2012

Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

47 51-DRYWALL CRACK AT  
LAUNDRY DOOR

Date Taken: 8/14/2012

Taken By: Tony Sherriff



48 52-LAUNDRY WALL AND  
CROWN

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

49 53-CRACKED DRYWALL IN  
LAUNDRY

Date Taken: 8/14/2012

Taken By: Tony Sherriff



50 54-BASE SEPARATION

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

51 56-ENTRY FOYERLOOKING  
TO DINING ROOM

Date Taken: 8/14/2012

Taken By: Tony Sherriff



52 57-FOYER WINDOWS

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 53 58-FOYER CEILING  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 54 59-FOYER WALL CRACKS  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff

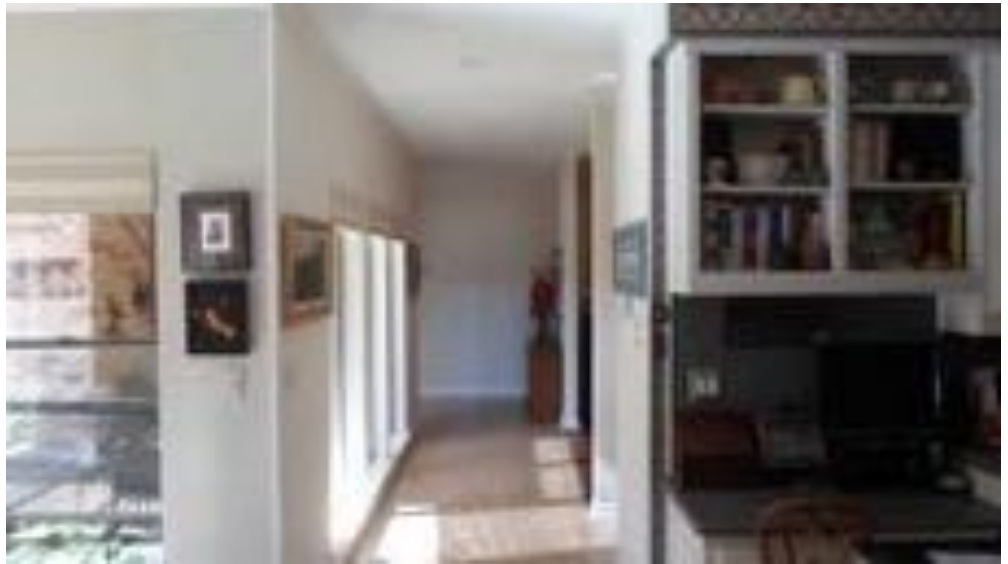


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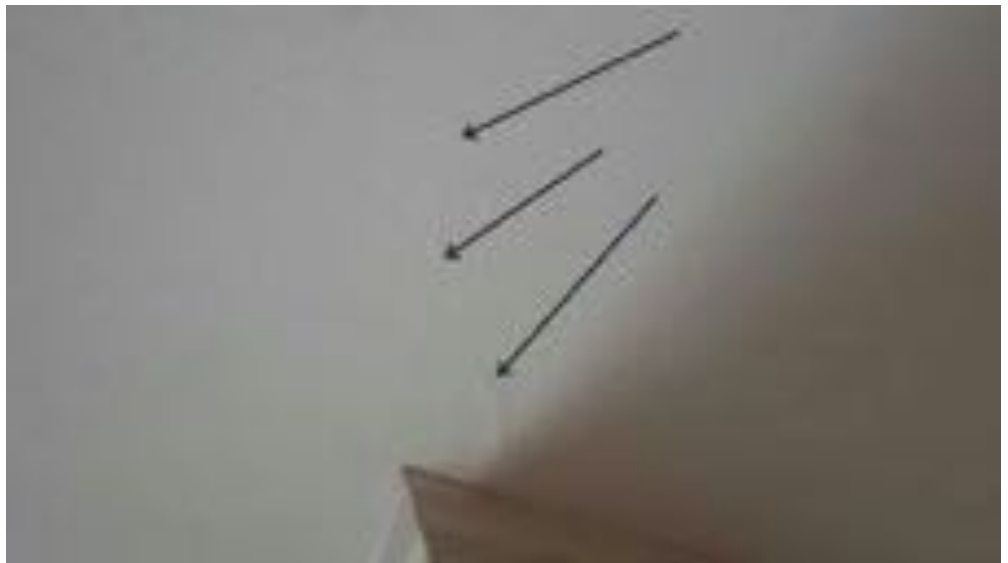
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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 55 62-ENTRY FOYER  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 56 63-FOYER CEILING CRACKS  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff





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Tony Sherriff  
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Waxahachie  
Texas 75165

57 64-FOYER CROWN CRACK

Date Taken: 8/14/2012

Taken By: Tony Sherriff



58 65-FOYER DRYWALL CEILING  
CRACK

Date Taken: 8/14/2012

Taken By: Tony Sherriff



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---

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Texas 75165

59 67-FAMILY DINING ROOM  
OVER VIEW

Date Taken: 8/14/2012

Taken By: Tony Sherriff



60 68-FAMILY DINING ROOM

Date Taken: 8/14/2012

Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

61 69-SEPARATED CROWN

Date Taken: 8/14/2012

Taken By: Tony Sherriff



62 71-FAMILY ROOM OVER  
VIEW

Date Taken: 8/14/2012

Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 63 72-FAMILY ROOM WITH  
CENTRAL FIREPLACE  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 64 73-FAMILY ROOM  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

65 74-FAMILY ROOM/STAIRS

Date Taken: 8/14/2012

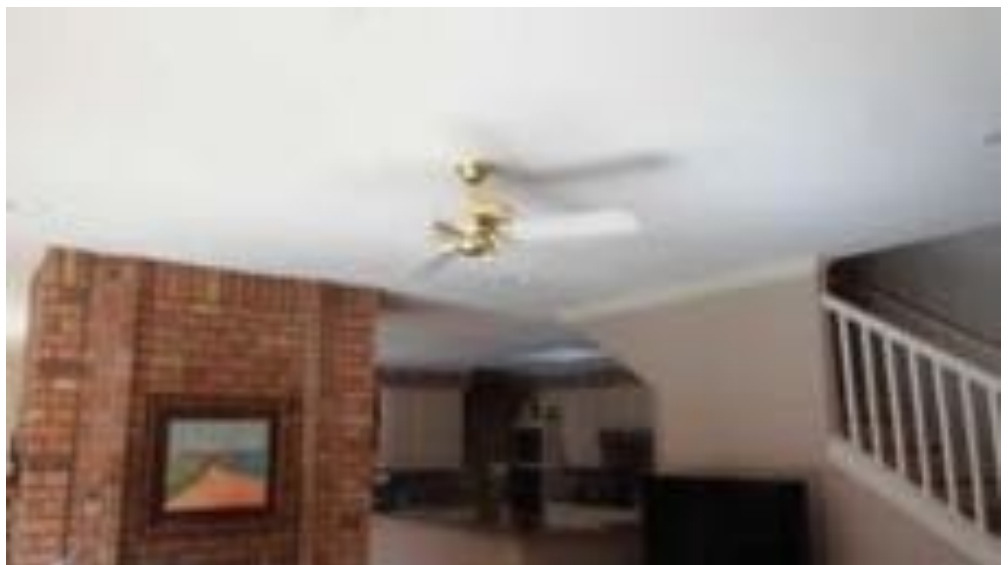
Taken By: Tony Sherriff



66 75-FAMILY ROOM CEILING

Date Taken: 8/14/2012

Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

67 77-HALLWAY OVER VIEW

Date Taken: 8/14/2012

Taken By: Tony Sherriff



68 78-GARAGE ENTRY FROM  
HALLWAY

Date Taken: 8/14/2012

Taken By: Tony Sherriff



**Professional Public Adjusters, LLC**

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

69 79-SAM\_0320  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



70 80-SAM\_0321  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff





## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 71 82-master bedroom over view  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 72 83-master bedroom over view  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff





## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 73 84-master bedroom  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 74 85-master bedroom fireplace  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 75 86-master bedroom crown  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 76 87-master bedroom drywall  
damage  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 77 88-master bedroom crown  
separation  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 78 89-laster bedroom crown  
separation  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

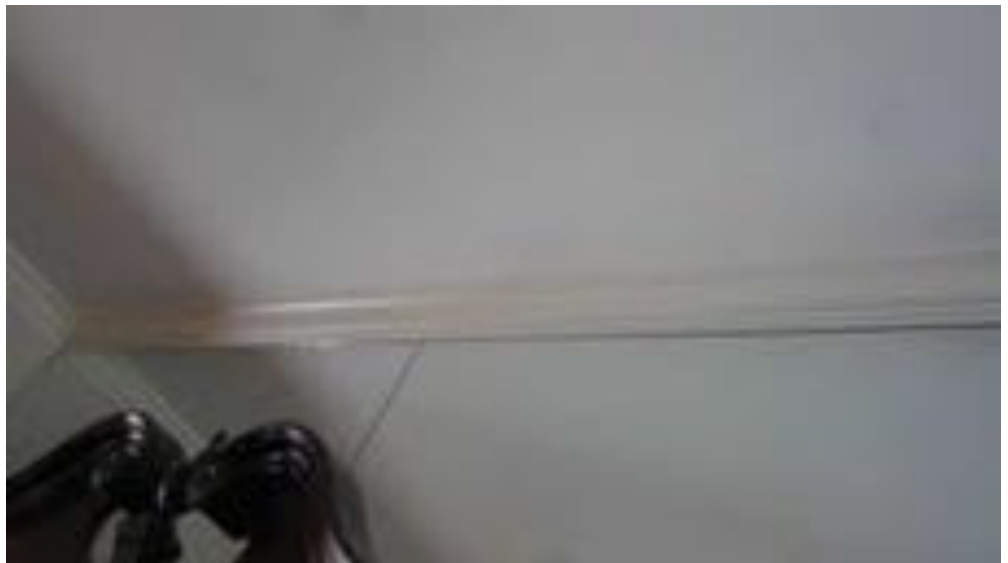
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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 79 90-master bedroom crown and full  
hgt mirrors  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 80 91-crown and mirrors  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 81 92-Crwon separation  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 82 94-master bathroom over view  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

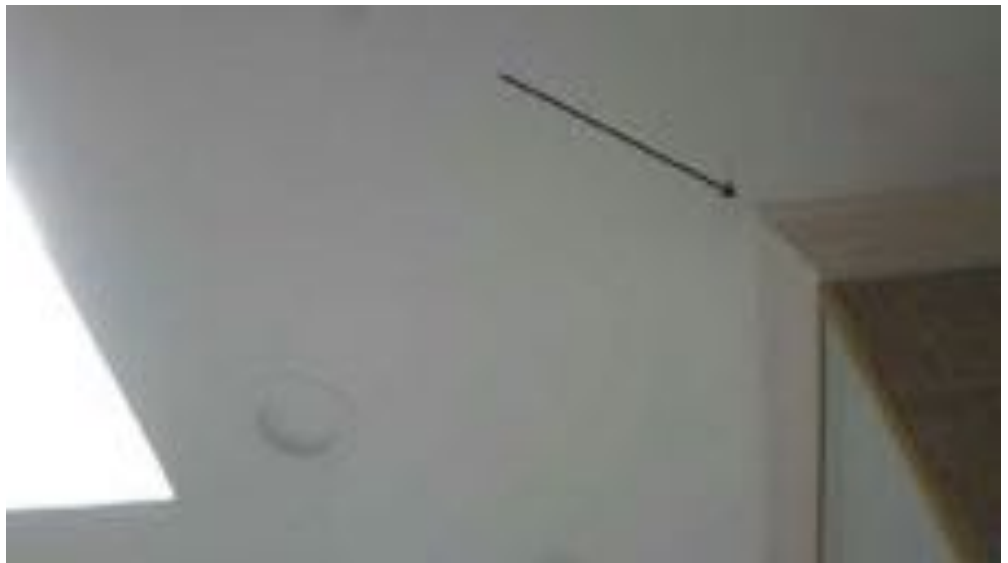
---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 83 95-master bathroom over view  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 84 96-ceiling crack  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 85 97-master bathroom crown  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 86 98-crown separation  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

87 100-stair wall

Date Taken: 8/14/2012

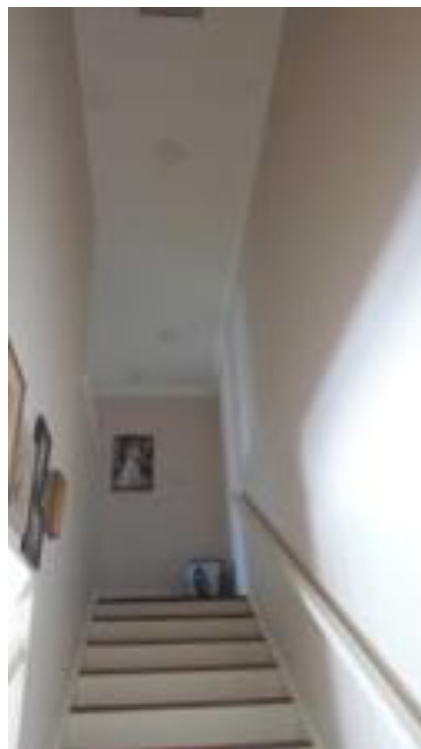
Taken By: Tony Sherriff



88 101-Stair over view

Date Taken: 8/14/2012

Taken By: Tony Sherriff





## Professional Public Adjusters, LLC

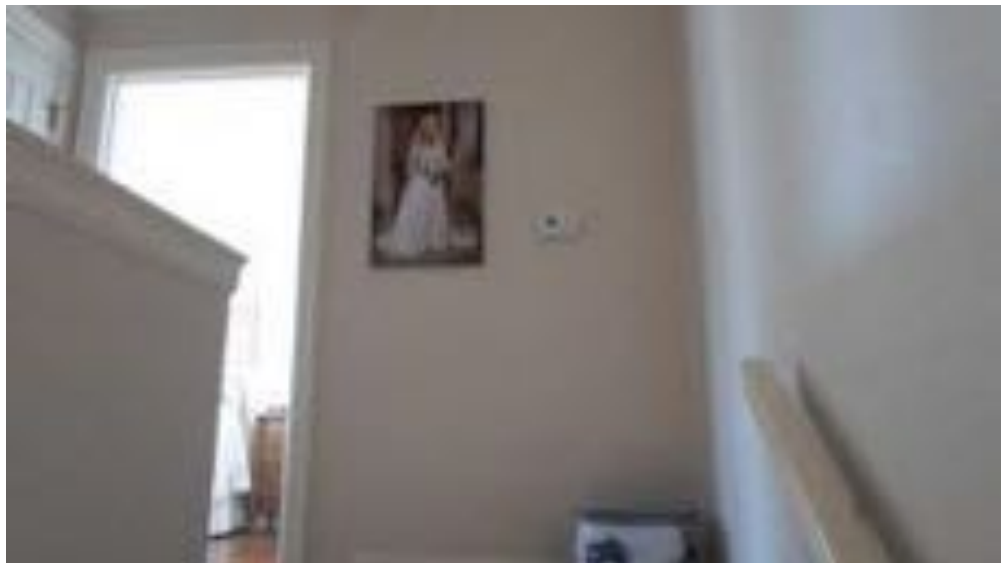
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Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 89 102-Stair ceiling with attic access  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 90 103-stair top landing  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 91 104-Drywall crack  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 92 107-bedroom 2 over view  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 93 108-bedroom 2 OV  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 94 109-bedroom 2/ J&J bathroom  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 95 110-bedroom 2 wayy cracks  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 96 111-bedroom 2 crown  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

- 97 113-Bedroom 2 crown  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



- 98 115-Garage OV  
Date Taken: 8/14/2012  
Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

99 116-Garage

Date Taken: 8/14/2012

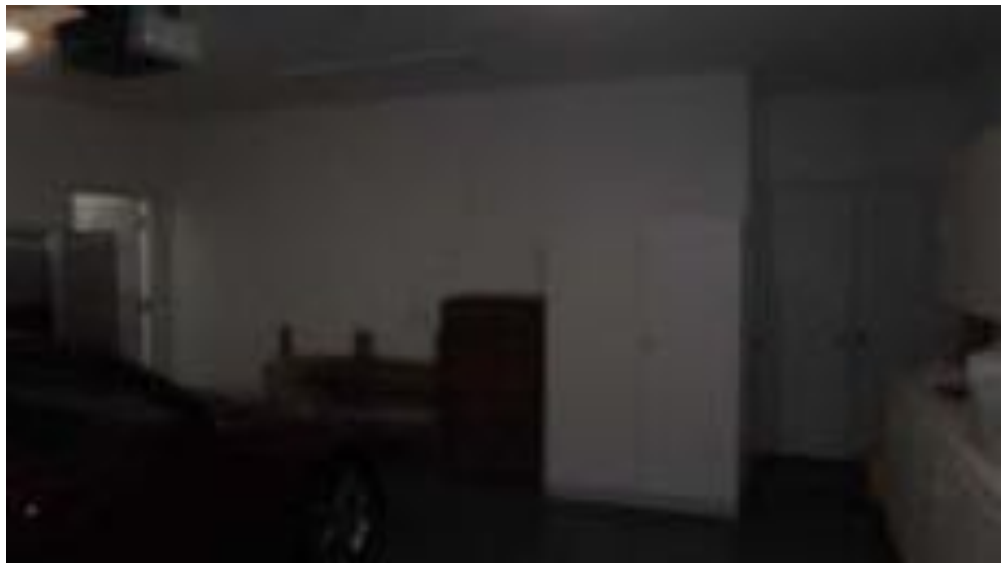
Taken By: Tony Sherriff



100 117-Garage

Date Taken: 8/14/2012

Taken By: Tony Sherriff



## Professional Public Adjusters, LLC

---

Tony Sherriff  
3379 Howard Rd  
Waxahachie  
Texas 75165

101 118-drywall cracks at wall and ceiling

Date Taken: 8/14/2012

Taken By: Tony Sherriff



102 121-Garage drywall cracks

Date Taken: 8/14/2012

Taken By: Tony Sherriff





Phone: 281-497-1522  
Fax: 281-829-3023  
Toll Free: 877-497-1527

PO Box 5306  
Katy, TX 77491-5306  
www.beckerengr.net

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**DELIVERY VEHICLE COLLISION  
DAMAGE CAUSE AND ORIGIN  
ASSESSMENT  
REPORT OF FINDINGS**

**PROPERTY:  
CALLOWAY RESIDENCE  
12544 Renoir LN  
DALLAS, TX**

**PREPARED FOR:  
MCCLENNY MOSELEY & ASSOCIATES, PLLC  
1214 West Dallas  
HOUSTON, TEXAS 77019**



---

Gregory T. Becker, PE  
Principal Engineer, Becker Engineering



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### ATTACHMENTS

- I. PHOTOGRAPHS & DATA
- II. SITE SCHEMATICS WITH DAMAGE OBSERVATIONS

## EXECUTIVE SUMMARY

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*Becker Engineering (BE)* was retained by *McClenny Moseley & Associates, PLLC* to perform a Damage Cause and Origin Assessment of the Calloway Residence. *BE* visited the subject structure on September 26, 2016 to offer an opinion on the existence, extent and reparability of damage related to a major delivery vehicle collision on June 19, 2016. During the assessment, *BE* photographed the Calloway residence, interviewed Ms. Calloway and assessed damage related to the delivery vehicle collision. Accordingly, our conclusions are based on only our data, observations and supplied information as stated in this report.

*BE* also recommends general remedies for repair of such damages, if possible for planning purposes. During this site visit, portions of the exterior of the building were visually inspected and photographs were taken. All observed damages were recorded as needed to support this assessment. These submitted technical conclusions are based upon scientific methods; the technical data referenced herewith, the applicable engineering guidelines in conjunction with the applicable Building Codes and General Industry Standards, our inspection, survey and examination results, the expert professional knowledge and many years of experience of the engineer in the forensic analysis of residential/commercial building structures. Such an inspection cannot detect all existing or potential defects and it should, therefore, be understood that future conditions affecting items discussed in this report cannot be predicted since they are all subject to change. The scope of this report extends only to the items related to the structural (wall/roof frame systems) and building envelope in relation to the vehicle impact identified in this report. Other observations are recorded only for preliminary planning/costing purposes. This engineering assessment report should not be considered a design, warranty or guarantee of any kind.

The observations and analysis confirming the existence of damage related to the delivery vehicle collision is summarized in the following discussion. This summary not to be used independently of the total report since details are further explained in the body of this document. Damage distribution for the building is also depicted in the attached drawing(s). Damaged areas that are described in this report are related to the incident. The most severely damaged portions of wall and ceiling were associated with the lower wall that was displaced axially along the wall line causing separation of structural members near the impact area. Motion, deflection and vibration were carried through the structural members causing localized separations and cracks at the

interior near the dining room. Exterior brick veneer in the area is cracked and separated. The cracking and separation of some areas reflect re-opening of previously repaired and stable areas related to foundation repair. The foundation appears relatively flat and stable from the recent underpinning approximately 5 years ago. At that time the interior was remodeled and any cracks and separations were addressed. Water intrusion has also caused some localized cupping of the hardwood floor. Based on the observations and analysis provided in this report, BE's conclusions are summarized as follows:

## EXTERIOR

- The non-reinforced mailboxes were destroyed and must be rebuilt.
- The PVC sprinkler system and decorative bed lighting systems were also damaged as the vehicle approached the wall. These systems must also be repaired or replaced.

## EXTEIOR BRICK VENEER AND FRIEZE BOARD

- The brick veneer at the impact zone and adjacent areas shows new cracking and separations related to vibration and deflection at the time of impact and subsequent slow deformation to relieve stress. The exterior brick veneer must be replaced in the affected areas including those adjacent to the impact zone. This must be done in coordination with wall structural repairs.
- The separated frieze board at the front impact area is separated and must be repaired.

## WALLS AND WALL PENETRATIONS

- The wood structure (studs, top and bottom plates) are damaged at the front window and adjacent areas. These materials show bowing (deformation) and cracks. These must be exposed, reinforced or reattached, and cracked/damaged members replaced with careful attention to supporting and sealing the remaining structure temporarily to prevent further damage.
- The wall penetrations (windows and associated framing – see drawing) are damaged via separation and stress from deformation related to the impact. These also must be replaced to allow for proper function and performance.
- The window units (both sides including missing and separated glazing) must be replaced at the front along with any damaged shutters and trim. Damaged and separated windows must be replaced.

## INTERIOR WATER DAMAGE AND INTERIOR BUILDING MATERIALS

- The interior hardwood flooring near the impact zone was exposed to water intrusion and shows evidence of cupping from moisture changes. The water damage is indicated on the drawings and photographs. This flooring must be repaired or replaced.
- Interior sheetrock and trim shows evidence of cracking and separations from impact vibration and stress release. These damaged areas must be repaired after any structural repairs are complete.

## RISK AND HAZARD

There is a current risk of injury from potential falling objects (brick or other building materials) during wall structural repairs of the impact area. There is also a real risk of electrical injury, injury during replacement of exterior wall and lighting. Thus, access to this area must be controlled for safety and water intrusion to the interior must be prohibited during repair work.

## INTRODUCTION

---

McClenny Moseley & Associates, PLLC requested that Becker Engineering (BE) inspect the structural damage to the Calloway residence relating to reported delivery vehicle collision damage in July of 2013. The delivery vehicle collision on June 19, 2016 was confirmed and researched. The property was inspected by *BE* as requested on September 26, 2016. Background and historical information were provided by the Ms. Calloway. Historical information was confirmed where possible using police reports and previous photographs. *BE* has relied only upon the information gathered during the site visit, research and owner/occupant interviews as a basis for arriving at the opinions and conclusions in this report.

The purpose of this investigation is to offer a professional opinion on the cause and extent of the damage to the subject building related to the delivery vehicle collision event. This report is based upon the information available to us at this time, and is not necessarily final. Should new or additional information be presented or discovered, we reserve the right to review and, if necessary, revise this report and our conclusions in light of that information. This report is specific in nature and not intended to be used for real estate transactions. This report is the sole property of *McClenny Moseley & Associates, PLLC and the Ms. Calloway*.

Note that if excess moisture sources are not eliminated before and after repairs or reconstruction occurs, excess mold growth and water damage will likely recur. Since *BE* will not be involved in repairs or ongoing maintenance for this structure, *BE* offers no warranty of the future performance or success of our recommended actions.

## I. SITE BACKGROUND

---

For the purposes of this report, the building will be described as if facing the front (i.e., front, right, left and rear from the entrance). Also, to simplify discussion, the structure will be discussed as if the building (home portion) is facing mainly west. The Calloway residence is one story, wood-framed structure with a brick exterior. The pitched hip roof of the building is covered by standard shingled roofing. A slab-on-grade steel reinforced concrete foundation system supports the building. Walls are typical wood stud construction with sill (bottom) plate and a double top plate which connects to the roof structure. The roof structure is wood that bears load on the front exterior wall. The following information was obtained regarding the history of the structure:

- ❑ The building was built in approximately 1981. Ms. Calloway purchased the building in approximately 1989.
- ❑ The foundation was repaired approximately 8 years ago at the rear left and more recently (approximately 5 years ago) at the left and front sides. All interior and exterior cracks and separations were repaired completely at that time and there has been no further damage indicating movement since.
- ❑ Remodeling 3 years ago included new windows, newly surfaced hardwood floors, painting of walls, trim and ceiling in the dining room area.
- ❑ On the same day as the collision, the owner noticed damaged exterior lights, sprinkler system, shrubs and mail box along with damaged interior hardwood flooring, trim, and walls with new cracks and separations. The owner also noted the bowed interior walls adjacent to the destroyed front window area.
- ❑ The demolished window opening was temporarily covered the same night as the collision, but this area leaked when the damaged sprinkler system came on. The owner noticed the water intrusion and mopped the area. The exterior barrier was subsequently replaced and the sprinkler system was repaired.

BE was contacted to document the damage extent; provide our professional opinion on causal event(s) and recommend overall repairs required.

## II. OBSERVATIONS AND DATA

---

*Becker Engineering* assessed the property on September 26, 2016. During this inspection, the exterior and interior of the Calloway residence was visually inspected. Interview was conducted with Ms. Calloway via phone by September 26, 2016. The Calloway residence was photographed to document the findings and represent the damage present. Since there was new crack activity reported and previous foundation repair had been conducted, foundation topographic data was collected to document the current condition. It is not the intent of this report to document all damage in and around the building and other out buildings, but to show typical conditions that affect the opinions expressed in this report. Additional photographs are not included, but are available. Instruments used for *BE* assessments and data collection at this building include:

- ❑ Overall observations were documented with a digital camera. Based on exterior measurements, schematics were prepared to document our observations and determine any correlation between damage and damage sources.
- ❑ Plumb (vertical) measurements were taken at the impact area to determine remaining deflection with a torpedo level and a 4 foot level.
- ❑ Damaged (separated) areas were observed and documented. Damage occurrences consistent with deflection and displacement of structural members for all areas were observed and documented. Leak sources were identified based on remnant evidence of damage related to water exposure. All areas were currently dry and did not require material moisture level measurement.
- ❑ Foundation topographic measurement data was collected for the affected area and adjacent areas using a compulevel digital water meter. This data was used to determine if the foundation current condition appeared normal and stable.
- ❑ Aerial photographs and police records were analyzed to support this assessment as needed.

## Observations

Observations are documented in the drawings and photographs. Inspection of the interior and exterior of the building carried out and documented in the drawing(s) attached. Repair information to damaged materials and components was provided to BE if available. The assessment of the exterior and interior revealed the following (see attached drawings):

- ❑ Exterior observations showed new cracks and separations in the brick veneer and the junction of the soldier course and the frieze board. Some of the cracks in the brick veneer at the adjacent areas outside the dining room showed previous repair and recent re-opening. The wall was bowed in the area of the collision. Also the smear coat on the foundation is cracked and now sloughing. The front showed evidence of vehicle contact.
- ❑ The right window unit was destroyed and the left glazing is separated from the frame. Window framing is bowed, cracked and separated. Damage was highest in the impact zone.
- ❑ The topography indicates that the foundation is currently level within normal tolerances and that the underpinning is performing as intended.
- ❑ New cracks and separations were observed in the interior that were fresh. Similar to the exterior brick veneer, some cracks had re-opened that had been previously successfully repaired and finished. This damage consistent with deflection in the area of the impact along with movement and vibration that causes stress release as the distance increases from the impact zone.
- ❑ The hardwood floor in the reported area of sprinkler water intrusion shows evidence of cupping. The junction with the base molding shows gaps consistent with hardwood floor moisture changes and/or wall movement.

### **III. ANALYSIS & CONCLUSIONS**

---

The purpose of this investigation is to offer a professional opinion on the extent of damage to this structure related to the June 19, 2016 delivery vehicle collision with this structure. *BE* also recommends remedies for repair of such damages, if possible, for reparability purposes. Based on the inspection, available data, observations and analysis as noted in this report our analysis and conclusions are as follows:

#### **COLLISION DAMAGE MECHANISM**

Assuming a weight of 3200 lbs, and an impact speed of approximately 30 mph, the approximate impact force by the truck would be approximately 96,800 foot pounds assuming impact distance from contact to stopping in the structure was 1 foot. Higher speed or lesser stopping distance would cause greater force. The destruction of the non-reinforced mailboxes had little effect on the speed at impact. Given that the wall building materials are not designed to resist lateral loads of such magnitude, this impact was sufficient to cause the movement of connected building materials inward from the impact zone. Affects of vibration and deformation are absorbed in the building structural members as the distance increases from the impact zone. However, vibration and small movements allow release of stress at the contact points (joints) resulting in cracks and separations. The damage observed is consistent with this mechanism.

#### **COLLISION RELATED DAMAGE**

The damage observed is consistent with the collision and resulting forces levied on building and property materials. Generally, there remains a risk of further water intrusion and interior damage until the building envelope is fully repaired. The damages related to vehicle movement during this incident are summarized below, in the drawings and in the photographs.



## EXTERIOR

- The non-reinforced mailboxes were destroyed and must be rebuilt.
- The PVC sprinkler system and decorative bed lighting systems were also damaged as the vehicle approached the wall. These systems must also be repaired or replaced.

## EXTEIOR BRICK VENEER AND FRIEZE BOARD

- The brick veneer at the impact zone and adjacent areas shows new cracking and separations related to vibration and deflection at the time of impact and subsequent slow deformation to relieve stress. The exterior brick veneer must be replaced in the affected areas including those adjacent to the impact zone. This must be done in coordination with wall structural repairs.
- The separated frieze board at the front impact area is separated and must be repaired.

## WALLS AND WALL PENETRATIONS

- The wood structure (studs, top and bottom plates) are damaged at the front window and adjacent areas. These materials show bowing (deformation) and cracks. These must be exposed, reinforced or reattached, and cracked/damaged members replaced with careful attention to supporting and sealing the remaining structure temporarily to prevent further damage.
- The wall penetrations (windows and associated framing – see drawing) are damaged via separation and stress from deformation related to the impact. These also must be replaced to allow for proper function and performance.
- The window units (both sides including missing and separated glazing) must be replaced at the front along with any damaged shutters and trim. Damaged and separated windows must be replaced.

## INTERIOR WATER DAMAGE AND INTERIOR BUILDING MATERIALS

- The interior hardwood flooring near the impact zone was exposed to water intrusion and shows evidence of cupping from moisture changes. The water damage is indicated on the drawings and photographs. This flooring must be repaired or replaced.
- Interior sheetrock and trim shows evidence of cracking and separations from impact vibration and stress release. These damaged areas must be repaired after any structural repairs are complete.

## RISK AND HAZARD

There is a current risk of injury from potential falling objects (brick or other building materials) during wall structural repairs of the impact area. There is also a real risk of electrical injury, injury during replacement of exterior wall and lighting. Thus, access to this area must be controlled for safety and water intrusion to the interior must be prohibited during repair work.

## IV. RECOMMENDATIONS

---

All general recommendations for damaged items are summarized in the executive summary. Based on the conclusions, it is our recommendation that:

- ❑ The mail boxes, exterior lighting and sprinkler system must be repaired and/or replaced accordingly.
- ❑ The brick veneer at the front left side must be replaced. The new cracks at the left side can be tuck pointed. The separation at the frieze board must be addressed when the brick is replaced. The foundation smear coat at the front below the brick must be replaced in coordination with brick replacement.
- ❑ The full window structure in the impact area (dining room) must be replaced.
- ❑ Damaged interior trim in the impact zone must be replaced. Cracks and separations at interior walls and ceilings near the dining room must be repaired.
- ❑ The cupped hardwood floor areas must be repaired or replaced.

All replacement materials and reconstruction must meet or exceed local code requirements for current construction and development. We recommend that all replaced building materials be properly protected against wetness and high moisture during reconstruction. All replacement windows and doors must be fully flashed. All exposed areas must be protected from water intrusion during construction. If significant repairs are needed that expose the interior to the outside environment, it is the contractor's responsibility to cover all exposed areas during all phases of the work to prevent further water intrusion. Construction must meet current state and local codes. All structural repairs must be conducted under the direction of a Texas licensed professional engineer. All repairs (i.e. electrical and plumbing) must be under the direction of appropriately licensed professionals.

## **GENERAL BASIS OF REPORT AND APPLICABLE DEFINITIONS**

---

### **This report is based on the following:**

- Visual observation of the Calloway residence.
- Data collection within the Calloway residence.
- History of the incident as described by the Ms. Calloway and confirmed as needed by data analysis.
- Police records for this incident.
- Observations and analyses as noted in this report.
- If applicable and requested, current code requirements as listed in references may be used to determine needed upgrades and/or compliance.

**General Definitions as applicable:**

**Damage:** Exterior damage (e.g., water damage, etc.) directly or indirectly related to the excess moisture intrusion and impact forces acting on this building.

**Deflection:** For the purposes of this report, deflection is net movement or displacement of a structure from a point of equilibrium resulting in damage. Damage (permanent deformation) normally results from displacement or bending beyond the elastic tolerance of the structure, joint or member.

**Excessive or high moisture:** For the purposes of this report, this refers to moisture in building materials that has been high enough to leave stain traces from free water migration through the material, cause material degradation (deterioration) or cause excessive mold growth. If the high material moisture condition remains it may be documented with moisture meter measurements.

**Pressure:** For the purposes of this report, pressure refers to static or dynamic pressure force exerted by air molecules on an interior or exterior surface.

**Renovation or repair:** Refinishing, resurfacing, rebuilding/repairing structural framework, new drywall, taping, floating, painting, flooring and other items needed to put the interior of the building back to its original condition before the hurricane. All repairs must comply with new construction code requirements.

**Shear Force:** For the purposes of this document shear force is horizontal or lateral force (pressure) exerted by impact on a vertical surface or plane. Force from horizontal impact:  $\frac{1}{2} M(V^2)$ .

**Vibration:** For the purposes of this report, vibration refers to shaking or structure particle movement. Vibration parameters such as frequency, amplitude, and wave length or particle velocity are not used and are not applicable in this discussion since these properties are not measured for this particular structure under impact conditions.

**Water Intrusion:** Non-flood water penetration to the interior as a result of openings or breaches created in the building envelope by the delivery vehicle collision force.

**Wicking, absorption or seepage:** Water movement through porous media by capillary forces following gradients into dry construction materials from wet areas.

## REFERENCES:

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2. American Society of Civil Engineers – “Guideline for the Structural Condition Assessment of Existing Buildings”, ANSI/ASCE 11-90, ANSI Approved August 1991.
3. American Society of Civil Engineers – “Minimum Design Loads for Buildings and Other Structures”, ANSI/ASCE 7-95, Approved June 1996.
4. American Architectural Manufacturers Association, Voluntary Specification for Field Testing of Windows and Sliding Glass Doors, AAMA 502-02.
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11. FEMA, Coastal Construction Manual, Principles and Practices of Planning, Siting, Designing, Constructing, and Maintaining Buildings in Coastal Areas, November 2003.
12. Forest Products Laboratory, Wood Handbook, 1999.
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14. International Building Code Council, Inc. *International Residential Code for One-and Two Family Dwellings*, 2006.
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17. Southern Building Code Congress International, Inc. *1997 Standard Existing Buildings Code*, Birmingham, AL, 1997.







Photo 1: Front (northwest) side view of home before the collision.



Photo 2: Front side view after the collision.





Photo 3: Brick mailboxes destroyed in vehicle pathway to home.



Photo 4: Damage remaining during BE visit.





Photo 5: Fresh brick crack and mortar separations adjacent to impact area.



Photo 6: Fresh mortar separations adjacent to impact area.



Photo 7: Fresh brick cracks and smear coat cracking at impact area.



Photo 8: Window frame damage at impact area.



Photo 9: Closeup of interior window trim damage at impact area.



Photo 10: Close up of window frame damage at impact area.





Photo 11: Remaining window frame separation from glazing at impact area.



Photo 12: Remaining window frame separation from glazing at impact area.



Photo 13: Inward window frame bow or displacement out of vertical at impact area.



Photo 14: Outward bow or displacement at the upper window frame above impact area.



Photo 15: Separation of soldier brick near the impact area.



Photo 16: Brick veneer separations and cracks adjacent to the impact area.





Photo 17: Close up of previous photo.



Photo 18: Brick veneer separations and cracks adjacent to the impact area.



Photo 19: Brick veneer separations and cracks adjacent to the impact area.



Photo 20: Close up of fresh separations and cracks in previous photos.





Photo 21: Brick veneer separations and cracks adjacent to the impact area.



Photo 22: Close up of previous photo.



Photo 23: Separation of the gutter and frieze board at the impact area.



Photo 24: Separation of the frieze board and the soldier course adjacent to the impact area.



Photo 25: Existing bow or deflection of approximately 1/2" at the impact area framing.



Photo 26: Close up of deflection in previous photo.





Photo 27: Remaining vehicle body parts in the bed outside impact area.



Photo 28: New interior ceiling cracks adjacent to impact area.



Photo 29: New interior wall cracks adjacent to impact area.



Photo 30: New interior cracks adjacent to impact area.



Photo 31: New interior cracks adjacent to impact area.



Photo 32: Bowed wall area adjacent to impact area.





Photo 33: Base molding gaps at the uneven areas of the hardwood floor.



Photo 34: New interior ceiling cracks adjacent to impact area (dining room).



Photo 35: New wall crack and trim separation in the dining room at the entry to the kitchen.



Photo 36: Close up of previous photo.





Photo 37: New interior wall crack in the dining room at the entry to the kitchen.



Photo 38: Close up of previous photo.



Photo 39: New wall crack and trim separation in the kitchen at the entry to the dining room.



Photo 40: New wall and ceiling separation in the kitchen near the entry to the dining room.

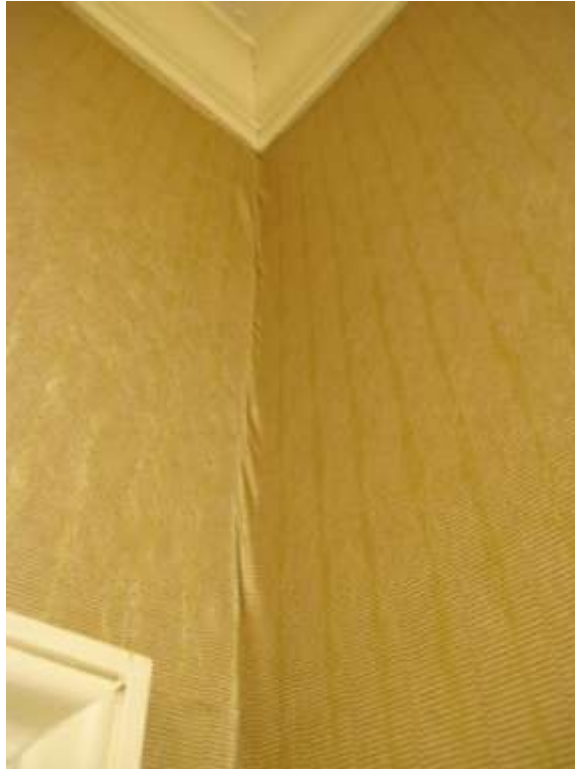


Photo 41: Corner separation at the bathroom opposite the cracks in the dining room wall.



Photo 42: New crown molding separation at the bathroom opposite the dining room wall.



Photo 43: Separation at the wall ceiling junction in the dining room entry from the hallway.



Photo 44: Uneven flooring and base molding gap adjacent to the impact area.



Photo 45: Cupped flooring at the impact area where rainwater intruded.



Photo 46: Cupped flooring at the impact area where rainwater intruded.



Law Enforcement and TxDOT Use ONLY

☐ FATAL ☐ CMV ☐ SCHOOL BUS ☐ RAILROAD ☐ MAB ☐ SUPPLEMENT ☐ ACTIVE ☐ SCHOOL ZONE

Total Num. Crashes: 1 Total Num. Crashes: 1 TxDOT Crash ID: 15164719.1 /2016291472



**Texas Peace Officer's Crash Report (Form CR-3 1/1/2015)**  
 Mail to: Texas Department of Transportation, Crash Data and Analysis, P.O. Box 149349, Austin, TX 78714. Questions? Call 844/274-7457  
 Refer to Attached Code Sheet for Numbered Fields

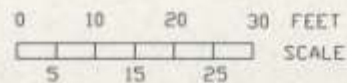
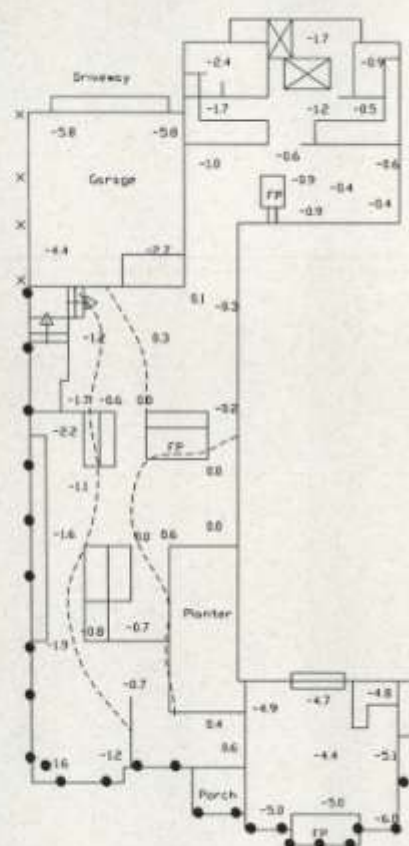
\*These fields are required on all additional sheets submitted for this crash (ex.: additional vehicles, occupants, injured, etc.).

Page 1 of 2

*Crash Date (MM/DD/YYYY) 08/19/2016		*Crash Time (24-Hour) 1705		Case # 148435-2016		Local Use	
*County Name DALLAS				*City Name DALLAS			
<input type="checkbox"/> In your opinion, did this crash result in at least \$1,000 damage to any one person's property? <input type="checkbox"/> Yes <input type="checkbox"/> No							
ROAD ON WHICH CRASH OCCURRED 1 Rwy. Sx 1 Hwy. Num. 12500 2 Rwy. Part 1 Block Num. 3000 3 Street Prefix 4 Street Suffix LN <input type="checkbox"/> Crash Occurred on a Private Drive or Road/Private Property/Parking Lot <input type="checkbox"/> Toll Road/Toll Lane <input type="checkbox"/> Speed Limit 30 <input type="checkbox"/> Const. Zone <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Worked Present <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Street Desc.							
INTERSECTING ROAD, OR IF CRASH NOT AT INTERSECTION, NEAREST INTERSECTING ROAD OR REFERENCE MARKER At Int. <input type="checkbox"/> Yes <input type="checkbox"/> No 1 Rwy. Sx 1 Hwy. Num. 5900 2 Rwy. Part 1 Block Num. 5900 3 Street Prefix 4 Street Suffix DB Distance from Int. or Ref. Marker 60 <input type="checkbox"/> FT <input type="checkbox"/> MI 3 Dir. from Int. or Ref. Marker E Reference Marker Street Desc. REX Num.							
Unit Num. 1 Unit Desc. 1 <input type="checkbox"/> Parked Vehicle <input type="checkbox"/> Hit and Run <input type="checkbox"/> LP Num. 0NY7112 VIN 1 1 F 6 B F 0 E M 5 0 M B 0 3 3 4 1 Veh. Year 2016 6 Veh. Color HSE 7 Veh. Make HISSAN 8 Veh. Model 9 Veh. Style VN <input type="checkbox"/> Not For. Use on Emergency Dispatch in Narrative if checked 8 DLID Type 1 DLID State TX DLID Num. 40237878 9 DL Class C 10 CDL End 96 11 DL Rest 96 DOB (MM/DD/YYYY) 07/13/91 1 9 8 6 Address (Street, City, State, ZIP) 425 BERNARD ST DENTON, TX 76207							
Person Num. 1 12 Pmt Type 13 Seat Position 14 Injury Severity 15 Age 16 Sex 17 Ect. 18 Race 19 Airtag 20 Helmet 21 Sol. 22 Alc. Spec. 23 Drug Spec. 24 Drug Result 25 Drug Category 1 1 1 ANTONIO, GLADYS W 29 B F 1 1 1 57 N 96 Not Applicable - Alcohol and Drug Results are only reported for Driver/Primary Person for each Unit.							
<input type="checkbox"/> Owner <input type="checkbox"/> Lessee <input type="checkbox"/> Other/Lessee Name & Address INSS, LLC, PO BOX 16290 ATLANTA, GA 30321 Proof of Ins. Resp. <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Exempt 26 Fin. Resp. Type 27 Fin. Resp. Name WESCO INS. CO. 28 Fin. Resp. Num. WPP141294605 Fin. Resp. Phone Num. (212) 226-7120 27 Vehicle Damage Rating 1 1 2 - F D - 1 27 Vehicle Damage Rating 2 1 2 - F L - 1 Vehicle Inventory <input type="checkbox"/> Yes <input type="checkbox"/> No Towed By Towed To							
Unit Num. 5 Unit Desc. <input type="checkbox"/> Parked Vehicle <input type="checkbox"/> Hit and Run <input type="checkbox"/> LP Num. VIN Veh. Year Veh. Color 6 Veh. Make 7 Veh. Model 8 Veh. Style VN <input type="checkbox"/> Not For. Use on Emergency Dispatch in Narrative if checked 8 DLID Type DLID State DLID Num. 9 DL Class 10 CDL End 11 DL Rest DOB (MM/DD/YYYY)							
Address (Street, City, State, ZIP) Person Num. 12 Pmt Type 13 Seat Position 14 Injury Severity 15 Age 16 Sex 17 Ect. 18 Race 19 Airtag 20 Helmet 21 Sol. 22 Alc. Spec. 23 Drug Spec. 24 Drug Result 25 Drug Category Not Applicable - Alcohol and Drug Results are only reported for Driver/Primary Person for each Unit.							
<input type="checkbox"/> Owner <input type="checkbox"/> Lessee <input type="checkbox"/> Other/Lessee Name & Address Proof of Ins. Resp. <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Exempt 26 Fin. Resp. Type 27 Fin. Resp. Name 28 Fin. Resp. Num. Fin. Resp. Phone Num. 27 Vehicle Damage Rating 1 27 Vehicle Damage Rating 2 Vehicle Inventory <input type="checkbox"/> Yes <input type="checkbox"/> No Towed By Towed To							

Photo 47: Police report confirming the Amazon delivery vehicle impact.

Photo 48: Police report confirming the Amazon delivery vehicle impact..



Note: Dimensions are approximate  
 Contour Interval = 0.5 inches  
 Elevation = inches  
 • PIERS = 24  
 x OLD HELICAL PIERS = 4

12544 Renoir  
Dallas, Texas 75230  
August 5, 2010

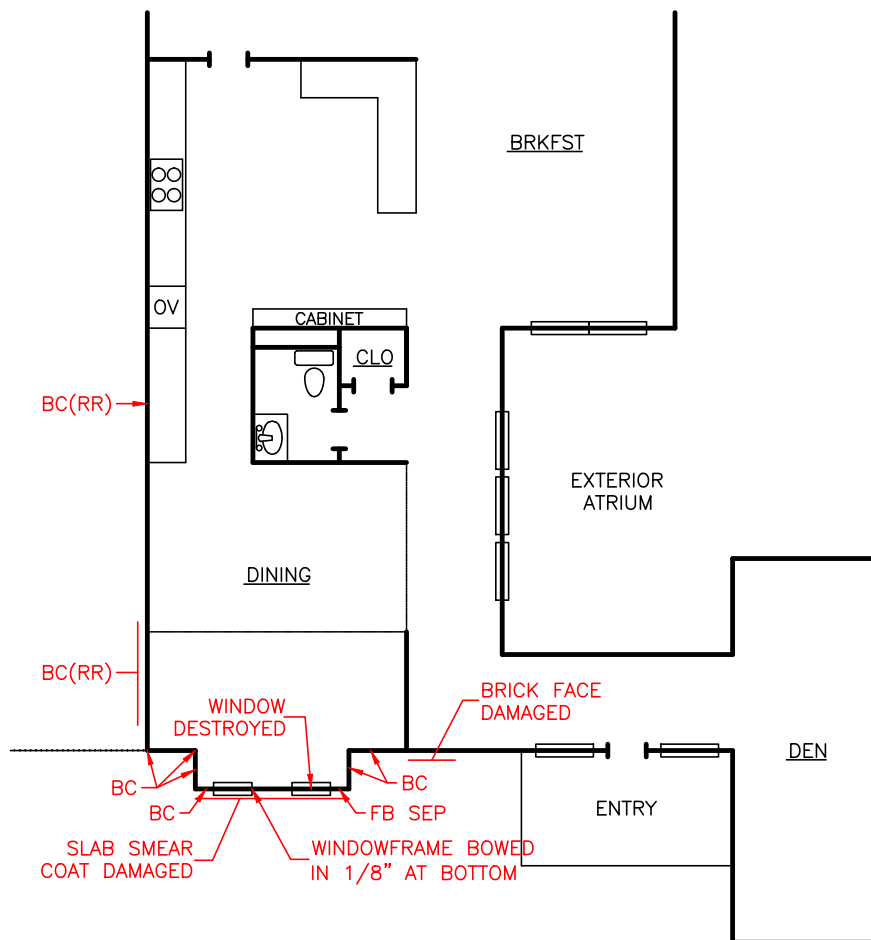
INDEPENDENT FOUNDATION ENGINEERS P.C.

### ELEVATION PLAN

Pier plan with prior topography (leveled after underpinning).



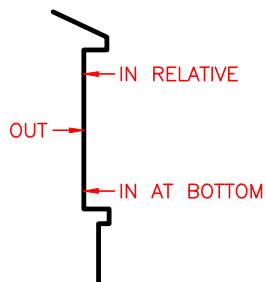
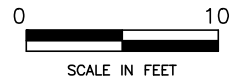
## **ATTACHMENT II SCHEMATICS**



DESTROYED 2  
BRICK MAILBOXES  
(NEIGHBOR'S BOX  
PATCHED)

LEGEND

- FB FRIEZE BOARD
- BC BRICK CRACK OR MORTAR SEPARATION
- RR REPAIRED AND REOPENED



CROSS SECTION OF  
EXTERIOR PLUMB  
MEASUREMENTS

## BECKER ENGINEERING

PROPERTY:  
Calleway Residence Home Collision  
12544 Renoir Ln - Dallas, Tx 75230

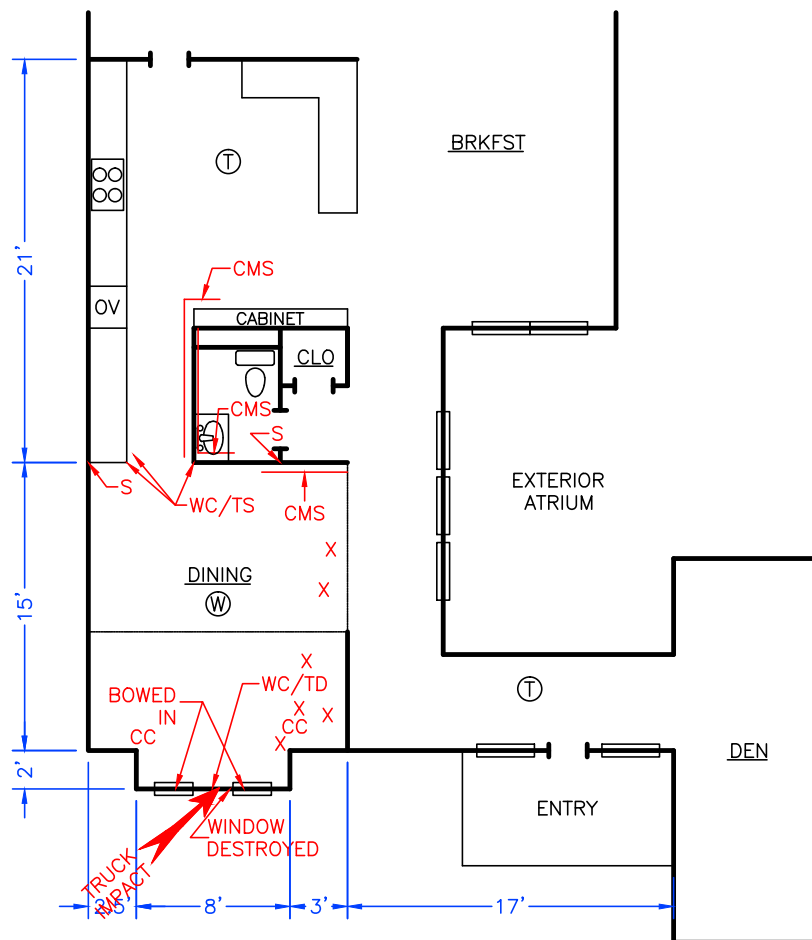
DWG. NAME:  
SCHEMATIC OF FLOOR PLAN  
WITH EXTERIOR OBSERVATIONS

SCALE: 1"=10'  
SURVEYED BY: GTB

FILE #:  
**16-03-04-0024**

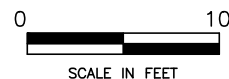
SHEET NO 1 OF 4 SHEETS





# LEGEND

- CC CEILING CRACK
- CMS CROWN MOLDING OR WALL  
CEILING SEPARATION
- S SEPARATION
- TD TRIM DAMAGE
- TS TRIM SEPARATION
- WC WALL CRACK
- X SLIGHT CUPPING &  
SEPARATION OF WOOD  
FLOORING
- (W) HARDWOOD FLOORING
- (T) TILE FLOORING



## BECKER ENGINEERING

PROPERTY:  
Calleway Residence Home Collision  
12544 Renoir Ln - Dallas, Tx 75230

DWG. NAME:  
SCHEMATIC OF FLOOR PLAN  
WITH INTERIOR OBSERVATIONS

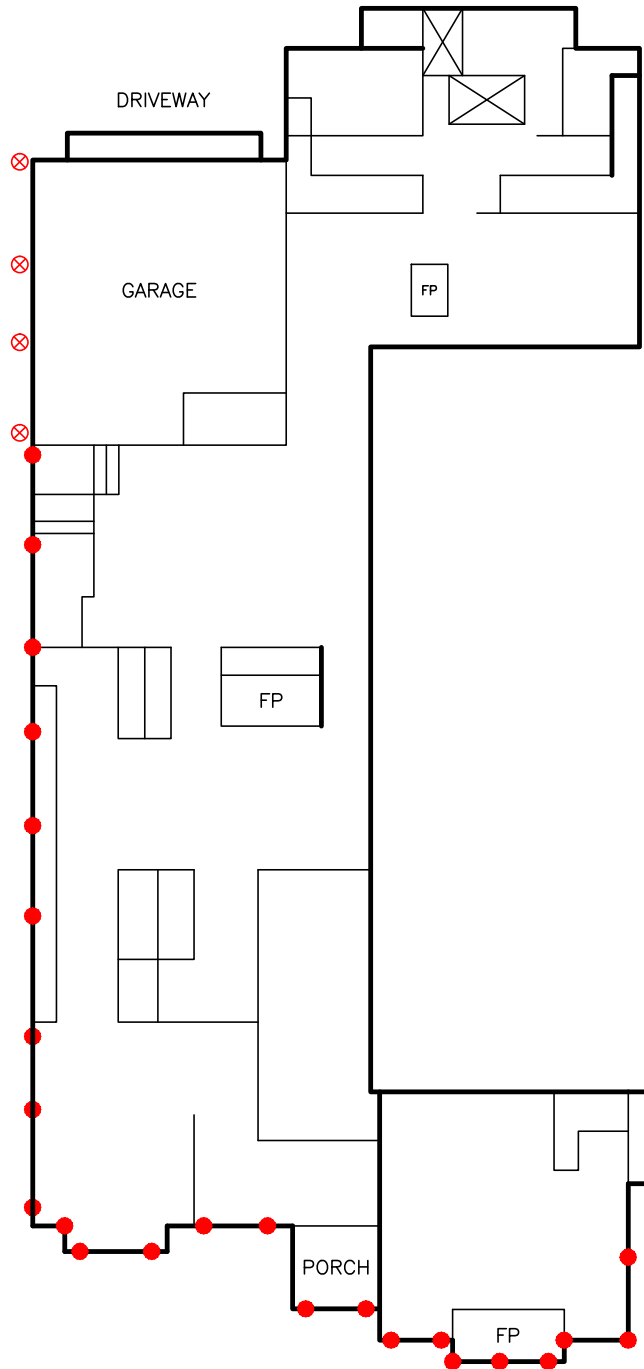
SCALE: 1"=10'  
SURVEYED BY: GTB

FILE #:  
16-03-04-0024

SHEET NO 2 OF 4 SHEETS







# LEGEND

⊗ PIER (APPROX. 8 YEARS OLD)

● PRESSED PILE (APPROX 5 YEARS OLD)



## BECKER ENGINEERING

PROPERTY:  
Calleway Residence Home Collision  
12544 Renoir Ln - Dallas, Tx 75230

DWG. NAME:  
SCHEMATIC OF 1st FLOOR PLAN  
WITH PILE LOCATIONS

SCALE: 1"=15'  
SURVEYED BY: GTB

FILE #:  
16-03-04-0024

SHEET NO 4 OF 4 SHEETS

